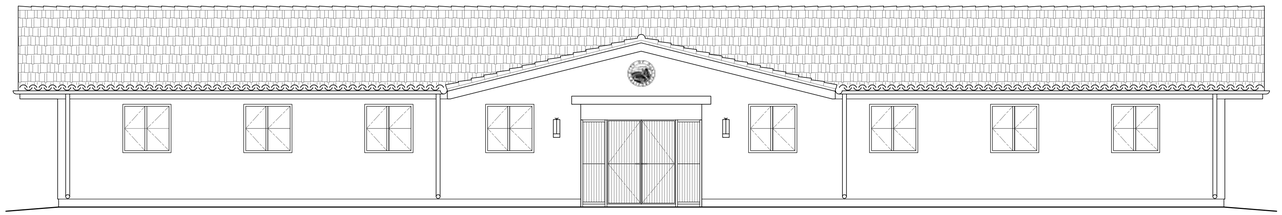
OJAI PERMANENT SUPPORTIVE HOUSING

DESIGN DEVELOPMENT SET | JULY 25 2025



NORTH ELEVATION

GREEN BUILDING AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION

1. FOR STORM WATER AND DRAINAGE CONSERVATION MEASURES AND PLANS, SEE CIVIL DRAWINGS AND 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.
2. FOR ENERGY EFFICIENCY STANDARDS, SEE ENERGY CALCULATIONS AND MANDATORY MEASURES ON 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.
3. FOR WATER CONSERVATION AND EFFICIENCY STANDARDS FOR PLUMBING FIXTURES, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.
4. FOR WATER CONSERVATION AND EFFICIENCY STANDARDS FOR IRRIGATION SYSTEMS, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.
5. FOR MATERIAL CONSERVATION, REUSE RECYCLE AND RESOURCE EFFICIENCY, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.
6. PROVIDE OPERATION AND MAINTENANCE MANUALS TO OWNER, AS PER 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4.
7. FOR STANDARDS FOR AIR QUALITY, POLLUTION REDUCTION AND CONTAMINANT REDUCTION, SEE ENVIRONMENTAL QUALITY SECTION IN 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.4 AND A0.5.
8. FOR INTERIOR MOISTURE CONTROL AND INDOOR AIR QUALITY, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.5.
9. FOR INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS, SEE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET A0.5.
10. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
11. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
12. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO DRAINAGE SYSTEM.
13. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS A SOLID WASTE.
14. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

GREEN BUILDING AND BEST MANAGEMENT PRACTICES FOR CONSTRUCTION (CONT.)

15. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE E PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
16. ANY SLOPES WITH DISTURBED SOILS OR DEPLETED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

BUILDING CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS:

2022 CBC EDITION CALIF. BUILDING CODE
2022 CEC EDITION CALIF. ELECTRICAL CODE
2022 CEC EDITION CALIF. BUILDING ENERGY CODE
2022 CFC EDITION CALIF. FIRE CODE
2022 CGB EDITION CALIF. GREEN BUILDING CODE
2022 CMC EDITIONCALIF. MECHANICAL CODE
2022 CPC EDITION CALIF. PLUMBING CODE

WUI STANDARDS - CBC CH 7A, CFC CH 47

24 CFR § 982.605 - SRO: HOUSING QUALITY STANDARDS

GENERAL NOTES

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SPECIAL INSPECTIONS

REFER TO STRUCTURAL GENERAL NOTES FOR LIST OF SPECIAL INSPECTIONS REQUIRED.

FIRE SPRINKLERS AND ALARMS

BUILDING TO BE FULLY SPRINKLERED AND ALARMED. FIRE SPRINKLERS AND ALARM SYSTEM TO BE PROVIDED AS DESIGN BUILD UNDER DEFERRED SUBMITTAL.

LOCATION MAP

VICINITY MAP

AREA TABULATIONS

PSH Building	
Gross Areas	
East Wing	4,040
West Wing	4,040
South Wing	2,206
Gross Building Area	10,286
Courtyard	5,667
Outdoor Cooridors	603
Outdoor Spaces	6,270
Total Footprint	16,556
Roof Area	14,702
Storage Building	
Net Interior Area	920
Gross Footprint	1,037
Roof Area	1,559

PROJECT DATA

PROJECT:
OJAI PERMANENT SUPPORTIVE HOUSING
611 SOUTH MONTGOMERY STREET, OJAI, CA., 93023

APN: 023-0-120-020

LOT SIZE: 1.74 ACRES = 75,794 SF

CONSTRUCTION TYPE: V-B

ZONING AND LAND USE: REFER TO CITY COUNCIL RESOLUTION 25-19

OCCUPANCY: B, A, R-2

S.O.A.R.: NO

COASTAL ZONE: NO

FLOOD ZONE: NO

HIGH FIRE ZONE: YES - VERY HIGH FIRE HAZARD SEVERITY ZONE

PARKING:
REQUIRED COVERED PARKING = 0
REQUIRED UNCOVERED PARKING = 0
PARKING PROVIDED = 8
PROJECT AUTHORIZED UNDER CITY COUNCIL RESOLUTION 25-19

PROJECT DESCRIPTION

THE CITY OF OJAI WILL CONSTRUCT, ON CITY OWNED PROPERTY AT 611 SOUTH MONTGOMERY STREET, A PERMANENT SUPPORTIVE HOUSING PROJECT FOR FORMERLY UNHOUSED INDIVIDUALS CONTAINING THIRTY (30) SINGLE-STORY RESIDENTIAL UNITS EACH WITH ENSUITE BATHROOMS, A COMMON AREA, LAUNDRY AND GATHERING FACILITIES, AND OFFICES FOR SITE MANAGERS, ON-SITE CASE MANAGERS AND SITE SECURITY, AN ACCESSORY STORAGE BUILDING, TRASH ENCLOSURE AND ASSOCIATED SITE, CIVIL AND LANDSCAPE DEVELOPMENTS (TOGETHER WITH ALL RELATED FACILITIES, THE "PROJECT"). COOKING SHALL NOT OCCUR AT THE PROJECT.

OWNER SHALL RETAIN OPERATOR THAT WILL PROVIDE MINIMUM OF THREE MEALS PER DAY, PREPARED OFF SITE AND DELIVERED.

CONTACT LIST

OWNER APPLICANT:
CITY OF OJAI

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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

25 July 2025

Design Development

Title Sheet

T1

CITY OF OJAI
PUBLIC WORKS AGENCY

GENERAL GRADING NOTES:

1. GRADING ACTIVITIES SHALL BE IN ACCORDANCE WITH THE VENTURA COUNTY BUILDING CODE APPENDIX J GRADING, LATEST EDITION.
2. THE GRADING PERMIT AND WORK SHOWN IN THESE PLANS IS VALID ONLY TO THE EXTENT OF THE VENTURA COUNTY BUILDING CODE APPENDIX J - GRADING. PERMITS OR PERMISSIONS THAT MAY BE REQUIRED BY OTHER REGULATORY AGENCIES OR INTERESTED PARTIES ARE THE RESPONSIBILITY OF THE PERMITTEE.
3. A PRECONSTRUCTION MEETING SHALL BE HELD AT THE SITE PRIOR TO ANY GRADING ACTIVITY OR LAND DISTURBANCES WITH THE FOLLOWING PARTIES PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY GRADING INPECTOR(S), AND OTHER JURISDICTIONAL AGENCIES WHEN REQUIRED.
4. HEAVY EQUIPMENT NOISE & TRUCK DELIVERIES SHALL NOT BEGIN UNTIL AFTER 7:00 A.M. NO WORK BEYOND 4:30 PM UNLESS APPROVED BY PWA.
5. NO GRADING ACTIVITY SHALL OCCUR IN ANY WETLAND, BLUE-LINE STREAM, RED-LINE CHANNEL, OR FLOODPLAIN WITHOUT THE PROPER PERMITS & PERMISSION FROM THE PWA & RESOURCE MANAGEMENT AGENCY (RMA), OR OTHER AUTHORITIES HAVING JURISDICTION.
6. RETAINING WALLS AND BRIDGES REQUIRE A SEPARATE PERMIT FROM BUILDING AND SAFETY.
7. ALL RECOMMENDATIONS MADE BY THE SOILS ENGINEER (AND ENGINEERING GEOLOGIST, WHERE EMPLOYED) CONTAINED IN THE REPORTS AS APPROVED BY THE CITY SHALL BE A PART OF THIS GRADING PLAN.
8. ALL DISTURBED SURFACES SUBJECT TO EROSION SHALL BE PROTECTED IN ACCORDANCE WITH THE VENTURA COUNTYWIDE MUNICIPAL STORMWATER NPDES PERMIT. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED FULLY FUNCTIONAL.
9. ALL UNSUITABLE MATERIAL, I.E. LUMBER, LOGS, BRUSH, COMPRESSIBLE SOILS, OR ANY ORGANIC MATERIALS OR RUBBISH, SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER AND ENGINEERING GEOLOGIST FROM ALL AREAS TO RECEIVE FILL.
10. ALL AREAS TO RECEIVE FILL SHALL BE INSPECTED AND APPROVED BY THE SOILS ENGINEER (AND ENGINEERING GEOLOGIST WHERE EMPLOYED) AFTER REMOVAL OF UNSUITABLE MATERIAL AND EXCAVATION OF KEYWAYS AND BENCHES, AND PRIOR TO PLACEMENT OF SUBSURFACE DRAINAGE SYSTEMS OR FILL.
11. ALL MATERIALS DEEMED UNSUITABLE FOR PLACEMENT IN COMPACTED FILL SHALL BE REMOVED FROM THE SITE. MATERIALS SUCH AS CONSTRUCTION INERT DEBRIS, OR IMPORTED MATERIALS SHALL BE APPROVED BY THE SOILS ENGINEER AND CITY PRIOR TO USE IN COMPACTED FILL. WHERE EXCAVATED MATERIAL IS LARGER THAN TWELVE INCHES IN LARGEST DIMENSION, IT MUST BE BROKEN INTO SMALLER PARTICLE SIZES, BEFORE BEING USED AS FILL.
12. THE SOILS ENGINEER SHALL DIRECT THE REMOVAL OF ANY EXISTING UNDERGROUND STRUCTURES SUCH AS SEPTIC TANKS, IRRIGATION LINES, ETC.
13. ANY WATER WELL LOCATED WITHIN THE AREA OF DISTURBANCE SHALL BE REPORTED TO THE WATER RESOURCES DIVISION, WATERSHED PROTECTION DISTRICT PRIOR TO ITS MODIFICATION, ABANDONMENT, OR DESTRUCTION.
14. ANY OIL WELL LOCATED WITHIN THE AREA OF DISTURBANCE SHALL BE REPORTED TO THE STATE OF CALIFORNIA, DIVISION OF OIL, GAS, AND GEOTHERMAL RESOURCES PRIOR TO ITS MODIFICATION, ABANDONMENT, OR DESTRUCTION.
15. ALL TEMPORARY EXCAVATED SLOPES OR BENCHES AND KEYS FOR BUTTRESS OR STABILIZATION FILLS MUST BE EXAMINED BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER TO INSURE THAT ALL POTENTIAL PLANES OF FAILURE HAVE BEEN EXPOSED IN THE EXCAVATION AND WILL BE ADEQUATELY SUPPORTED BY THE PROPOSED BUTTRESS. FIELD CERTIFICATION MUST BE SUBMITTED BY THE CONSULTANTS PRIOR TO PLACING FILL.
16. THE SOILS ENGINEER AND ENGINEERING GEOLOGIST (WHERE EMPLOYED) SHALL PROVIDE RECOMMENDATIONS AND APPROVE CORRECTIVE WORK TO INSURE SLOPE STABILITY WHERE UNSTABLE MATERIAL IS EXPOSED AT THE TOP OF CUTS AND EXCAVATIONS.
17. THE USE OF CORRUGATED STEEL PIPE IS NOT ALLOWED IN ANY COUNTY RIGHTS OF WAY. THE USE OF CORRUGATED STEEL PIPE ON PRIVATE PROPERTY SHOULD BE MINIMIZED. HOWEVER, IF USED SHOULD BE COATED TO MINIMIZE CORROSION AND TO EXTEND SERVICE TIME.
18. INTERIM SOILS AND GEOLOGIC REPORTS SHALL BE SUBMITTED TO THE COUNTY AS REQUIRED BY THE BUILDING OFFICIAL.
19. ROUGH GRADE SOILS ENGINEERING AND (IF APPLICABLE) ENGINEERING GEOLOGY REPORTS SUMMARIZING ALL EARTHWORK PERFORMED AND CONCLUDING THAT THE WORK HAS BEEN COMPLETED ACCORDING TO THE APPROVED REPORTS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL OF THE ROUGH GRADING BY THE BUILDING OFFICIAL PRIOR TO CALLING FOR BUILDING AND SAFETY INSPECTION.
20. FINAL SOILS ENGINEERING AND (IF APPLICABLE) ENGINEERING GEOLOGY REPORTS SUMMARIZING ALL EARTHWORK PERFORMED SINCE ROUGH GRADING AND CONCLUDING THAT THE WORK HAS BEEN COMPLETED ACCORDING TO THE APPROVED REPORTS SHALL BE SUBMITTED WITH THE AS-BUILT PLANS (RECORD DRAWING) TO THE CITY PRIOR TO FINAL INSPECTION BY THE BUILDING OFFICIAL.
21. PROJECT TO BE BID IN ACCORDANCE WITH CALIFORNIA PUBLIC CONTRACT CODE SECTION 22030-22045 AND OJAI MUNICIPAL CODE CHAPTER 8-4.

EARTHWORK QUANTITIES

CUT: XXXX CU. YDS. EXPORT: XXXX CU. YDS. DISPOSAL SITE XXXX

FILL: XXXX CU. YDS IMPORT: XXXX CU. YDS SOURCE XXXX

THIS PROJECT INCLUDES POST CONSTRUCTION BMP'S ________ YES XXXX NO

THE TOTAL ESTIMATED DISTURBED AREA OF GRADING AND CONSTRUCTION IS XXXX ACRES.

AVERAGE NATURAL SLOPE IN THE AREA OF GRADING XXXX %

THE TOTAL AMOUNT OF IMPERVIOUS AREA TO BE CONSTRUCTED AS PART OF THIS PROJECT IS XXXX SQ. FT.

TOTAL PROPOSED LANDSCAPED AREA XXXX SQ. FT. TOTAL NATIVE PLANTING LANDSCAPE AREA XXXX % (PERCENT OF TOTAL LANDSCAPE AREA)

LAND DEVELOPMENT & INSPECTION SERVICES MUST BE NOTIFIED TEN (10) WORKING DAYS PRIOR TO ANY EXPORT/IMPORT TO/FROM THE PROJECT SITE.

PERMITS

CITY ENCROACHMENT PERMIT NO.

________ ________ DATE ________

VENTURA COUNTY WATERSHED PROTECTION DISTRICT WATERCOURSE PERMIT NO.

________ DATE ________

STATE ENCROACHMENT PERMIT NO.

________ ________ DATE ________

FLOODPLAIN DEVELOPMENT PERMIT

________ DATE ________

ENGINEERED GRADING INSPECTION CERTIFICATES

JOB ADDRESS OR LOT AND TRACT NO: ________

ROUGH GRADING CERTIFICATION

(A) BY SOILS ENGINEER

I CERTIFY THAT THE ROUGH GRADING WORK INCORPORATES ALL RECOMMENDATIONS CONTAINED IN THE REPORT OR REPORTS FOR WHICH I AM RESPONSIBLE AND ALL RECOMMENDATIONS THAT I HAVE MADE BASED ON FIELD INSPECTION OF THE WORK AND TESTING DURING GRADING. I FURTHER CERTIFY THAT WHERE THE REPORTS OF AN ENGINEERING GEOLOGIST, RELATIVE TO THIS SITE, HAVE RECOMMENDED THE INSTALLATION OF BUTTRESS FILLS OR OTHER SIMILAR STABILIZATION MEASURES, SUCH EARTHWORK CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED DESIGN.

LOT NOS: ________

SEE REPORTS DATED: ________

FOR TEST DATA, RECOMMENDED ALLOWABLE SOIL BEARING VALUES & OTHER SPECIAL RECOMMENDATIONS.

SOILS ENGINEER ________ (SIGNATURE) REG. NO ________ DATE ________

SEAL

(B) BY ENGINEERING GEOLOGIST

I CERTIFY THAT THE ROUGH GRADING WORK INCORPORATES ALL OF THE RECOMMENDATIONS CONTAINED IN THE REPORT OR REPORTS FOR WHICH I AM RESPONSIBLE AND ALL RECOMMENDATIONS THAT I HAVE MADE BASED ON FIELD INSPECTION OF THE WORK DURING GRADING.

LOT NOS: ________

ENGINEERING GEOLOGIST ________ (SIGNATURE) CERT. NO. ________ DATE ________

SEAL

(C) BY CIVIL ENGINEER

I CERTIFY TO THE SATISFACTORY COMPLETION OF ROUGH GRADING INCLUDING GRADING TO APPROXIMATE FINAL ELEVATIONS; PROPERTY LINES LOCATED AND STAKED, CUT AND FILL SLOPES CORRECTLY GRADED AND LOCATED IN ACCORDANCE WITH THE APPROVED DESIGN; SWALES AND TERRACES GRADED READY FOR PAVING; BERMS INSTALLED; AND REQUIRED DRAINAGE SLOPES PROVIDED ON THE BUILDING PADS. I FURTHER CERTIFY THAT WHERE REPORT OR REPORTS OF AN ENGINEERING GEOLOGIST AND/OR SOILS ENGINEER HAVE BEEN PREPARED RELATIVE TO THIS SITE, THE RECOMMENDATIONS CONTAINED IN SUCH REPORTS HAVE BEEN INCORPORATED IN THE DESIGN.

LOT NOS: ________

CIVIL ENGINEER ________ (SIGNATURE) REG. NO. ________ DATE ________

SEAL

FINAL GRADING CERTIFICATION

BY CIVIL ENGINEER

I CERTIFY TO THE SATISFACTORY COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED PLANS. ALL DRAINAGE DEVICES REQUIRED BY THE GRADING PERMIT, GRADING PLANS AND GRADING ORDINANCE HAVE BEEN INSTALLED. EROSION TREATMENT OF SLOPES AND IRRIGATION SYSTEMS (WHERE REQUIRED) HAVE BEEN INSTALLED. ADEQUATE PROVISIONS HAVE BEEN MADE FOR DRAINAGE OF SURFACE WATERS FROM EACH BUILDING SITE AS OF THIS DATE.

LOT NOS: ________

CIVIL ENGINEER ________ (SIGNATURE) REG. NO. ________ DATE ________

SEAL

GRADING CONTRACTOR CERTIFICATION

BY GRADING CONTRACTOR

I CERTIFY THAT THE GRADING WAS DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, THE GRADING ORDINANCE, AND THE RECOMMENDATIONS OF THE CIVIL ENGINEER, SOILS ENGINEER AND ENGINEERING GEOLOGIST. IT IS UNDERSTOOD THAT THIS CERTIFICATION INCLUDES ONLY THOSE ASPECTS OF THE WORK THAT CAN BE DETERMINED BY ME, AS A COMPETENT GRADING CONTRACTOR, WITHOUT SPECIAL EQUIPMENT OR PROFESSIONAL SKILLS.

GRADING CONTRACTOR ________ (SIGNATURE) LICENSE NO. ________ DATE ________

INSTRUCTIONS: THE OWNER MAY SIGN IF THE GRADING WAS NOT DONE BY A LICENSED GRADING CONTRACTOR.

GENERAL STORMWATER NOTES:

THE LEGALLY RESPONSIBLE PERSON OF ANY PROPERTY IN WHICH GRADING ACTIVITIES OR OTHER SOIL DISTURBANCE ACTIVITIES ARE PERFORMED, INCLUDING PERMITTEE, SHALL COMPLY WITH THE LATEST AND APPLICABLE NPDES REQUIREMENTS. EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE INSTALLED BEFORE GRADING BEGINS. DURING GRADING ACTIVITIES, ALL BMP'S SHALL BE UPDATED AS NECESSARY TO PREVENT EROSION AND ANY ILLICIT DISCHARGE OF CONSTRUCTION RELATED POLLUTANTS. EROSION CONTROL BMP'S ARE LISTED ON COUNTY FORMS SW-1, SW-2, OR SW-HR.

1. **GENERAL CONSTRUCTION PERMIT.** PROJECTS THAT CAUSE SOIL DISTURBANCE OF ONE ACRE OR MORE, OR THAT ARE PART OF A COMMON PLAN OF DEVELOPMENT OR SALE THAT CAUSE SOIL DISTURBANCE OF ONE ACRE OR MORE ARE REQUIRED TO OBTAIN COVERAGE UNDER NPDES CALIFORNIA STATEWIDE GENERAL CONSTRUCTION PERMIT NO. CAS000002, AS A NUMBER ASSIGNED TO THE PROJECT BY THE STATE WATER RESOURCES CONTROL BOARD, COMPLETED AND SIGNED NOTICE OF INTENT (NOI) AND PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE SUBMITTED AND IMPLEMENTED DURING ALL GRADING ACTIVITIES.
2. **COUNTY'S STORM DRAIN SYSTEM.** ILLICIT DISCHARGES INTO THE COUNTY'S STORM DRAIN SYSTEM AS A RESULT OF GRADING, CLEARING, CONSTRUCTION, DEMOLITION, AND OTHER SOIL DISTURBANCE ACTIVITIES ARE PROHIBITED.
3. **INSPECTIONS.** EROSION CONTROL AND PERMANENT STORMWATER TREATMENT BMP'S ARE SUBJECT TO INSPECTIONS AS REQUIRED BY THE PERMIT ORDER NO. R4-2010-0108, AS AMENDED FROM TIME TO TIME.
4. **PUMPED WATER DISCHARGES.** DISCHARGES OF PUMPED GROUND WATER REQUIRE A DISCHARGE PERMIT FROM THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (RWQCB).
5. **SANITARY FACILITIES.** PORTABLE SANITARY FACILITIES SHALL BE LOCATED ON RELATIVELY LEVEL GROUND AWAY FROM TRAFFIC AREAS, DRAINAGE COURSES, AND STORM DRAIN INLETS.
6. **EMERGENCY WORK.** A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1ST TO APRIL 15TH). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.

PROJECT BMP'S

THE FOLLOWING BMPS AS OUTLINED IN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA CONSTRUCTION BMP ONLINE HANDBOOK MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER, QUALIFIED SWPPP DEVELOPER, PRACTITIONER OR THE BUILDING OFFICIAL). CERTAIN BMP'S ARE REQUIRED AS PART OF THE STORMWATER FORMS SW-1, SW-2 AND SW-HR. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT THE BMP'S LISTED HEREON, ARE IMPLEMENTED AND MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION. THE INSPECTOR OR BUILDING OFFICIAL MAY PERFORM UNANNOUNCED SITE INSPECTIONS TO ENSURE THAT THE PROJECT MAINTAINS THE BMP'S AS LISTED BELOW.

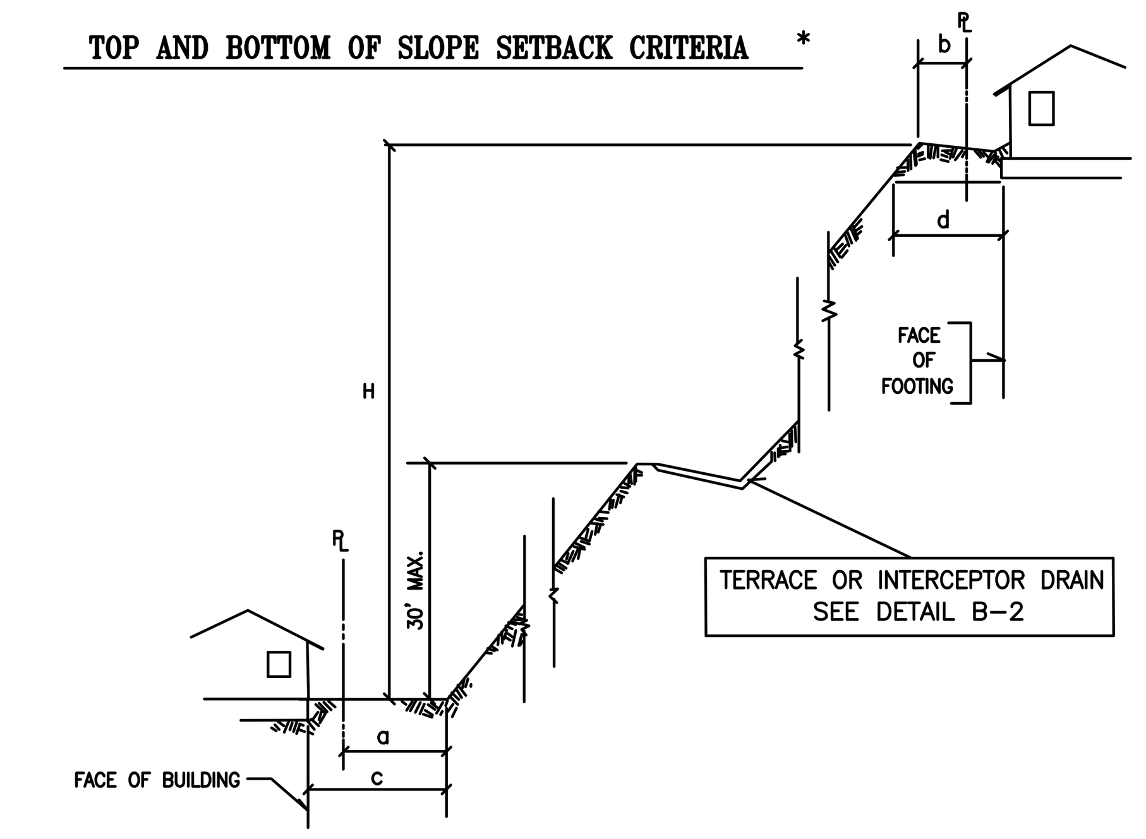
BMP DESCRIPTIONS AND DETAILS CAN BE OBTAINED FROM THE CALIFORNIA STORMWATER HANDBOOKS AT WWW.CASQA.ORG

COMPLETE CHECKLIST BELOW FOR APPLICABLE PROJECT BMP'S

	EROSION CONTROL
X	EC1 – SCHEDULING
X	EC2 – PRESERVATION EXISTING VEGETATION
	EC3 – HYDRAULIC MULCH
	EC4 – HYDROSEEDING
	EC5 – SOIL BINDERS
	EC6 – STRAW MULCH
	EC7 – GEOTEXTILES & MATS
	EC8 – WOOD MULCHING
	EC9 – EARTH DIKES & DRAINAGE SWALES
X	EC10 – VELOCITY DISSIPATION DEV.
	EC11 – SLOPE DRAINS
	EC12 – STREAMBANK STABILIZATION
	EC14 – COMPOST BLANKETS
	EC15 – SOIL PREPARATION\ROUGHENING
	EC16 – NON-VEGETATED STABILIZATION
	TEMPORARY SEDIMENT CONTROL
X	SE1 – SILT FENCE
	SE2 – SEDIMENT BASIN
	SE3 – SEDIMENT TRAP
	SE4 – CHECK DAM
X	SE5 – FIBER ROLLS
	SE6 – GRAVEL BAG BERM
	SE7 – STREET SWEEPING AND VACUUMING
	SE8 – SANDBAG BARRIER
	SE9 – STRAW BALE BARRIER
X	SE10 – STORM DRAIN INLET PROTECTION
	SE11 – ACTIVE TREATMENT SYSTEMS
	SE12 – TEMPORARY SILT DIKE
	SE13 – COMPOST SOCKS & BERMS
	SE14 – BIOFILTER BAGS

	WIND EROSION CONTROL
X	WE1 – WIND EROSION CONTROL
	EQUIPMENT TRACKING
	TC1 – STABILIZED CONSTRUCTION ENTRANCE EXIT
	TC2 – STABILIZED CONSTRUCTION ROADWAY
	TC3 – ENTRANCE/OUTLET TIRE WASH
	NON-STORMWATER MANAGEMENT
X	NS1 – WATER CONSERVATION PRACTICES
	NS2 – DEWATERING OPERATIONS
X	NS3 – PAVING & GRINDING OPERATIONS
	NS4 – TEMPORARY STREAM CROSSING
	NS5 – CLEAR WATER DIVERSION
	NS6 – ILLICIT CONNECTION/DISCHARGE
	NS7 – POTABLE WATER/IRRIGATION
	NS8 – VEHICLE & EQUIPMENT CLEANING
	NS9 – VEHICLE & EQUIPMENT FUELING
	NS10 – VEHICLE & EQUIPMENT MAINTENANCE
	NS11 – PILE DRIVING OPERATIONS
X	NS12 – CONCRETE CURING
X	NS13 – CONCRETE FINISHING
X	NS14 – MATERIAL & EQUIPMENT USE
	NS15 – DEMOLITION ADJACENT TO WATER
	NS16 – TEMPORARY BATCH PLANTS
	WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL
X	WM1 – MATERIAL DELIVERY & STORAGE
X	WM2 – MATERIAL USE
X	WM3 – STOCKPILE MANAGEMENT
X	WM4 – SPILL PREVENTION & CONTROL
X	WM5 – SOLID WASTE MANAGEMENT
	WM6 – HAZARDOUS WASTE MANAGEMENT
	WM7 – CONTAMINATION SOIL MANAGEMENT
X	WM8 – CONCRETE WASTE MANAGEMENT

TOP AND BOTTOM OF SLOPE SETBACK CRITERIA *

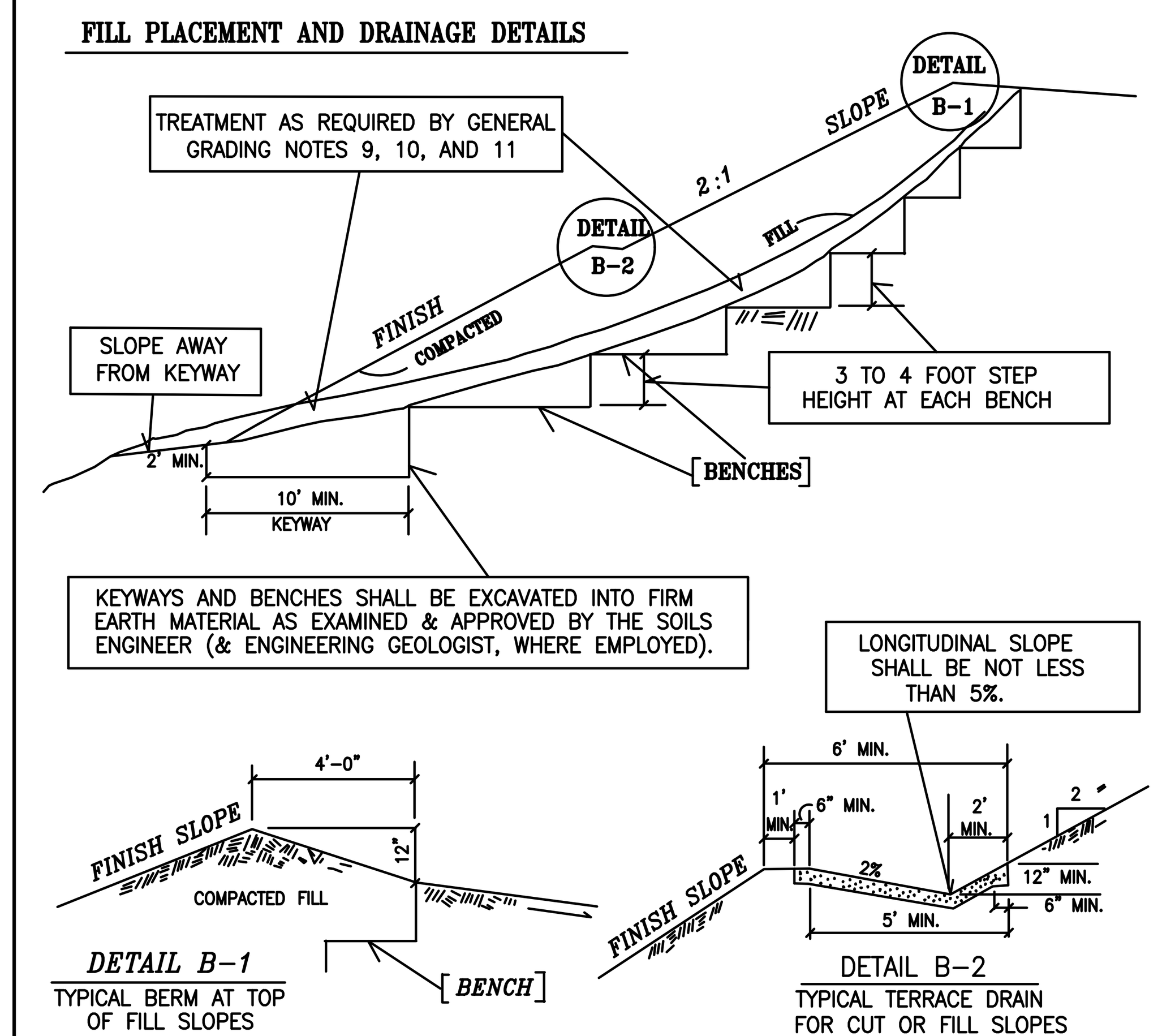


H(IN FEET)	a	b	c	d
ANY HEIGHT	2' MIN (H/2)' 20' MAX	2' MIN (H/5)' 10' MAX	(H/2)' 15' MAX	(H/3)' 40'MAX

* FROM C B C SEC. 1808.7 AND APPENDIX J – SEC. J109
℄ (SITE BOUNDARY)

DETAIL A
NTS

FILL PLACEMENT AND DRAINAGE DETAILS



DETAIL B-1
TYPICAL BERM AT TOP OF FILL SLOPES

DETAIL B-2
TYPICAL TERRACE DRAIN FOR CUT OR FILL SLOPES

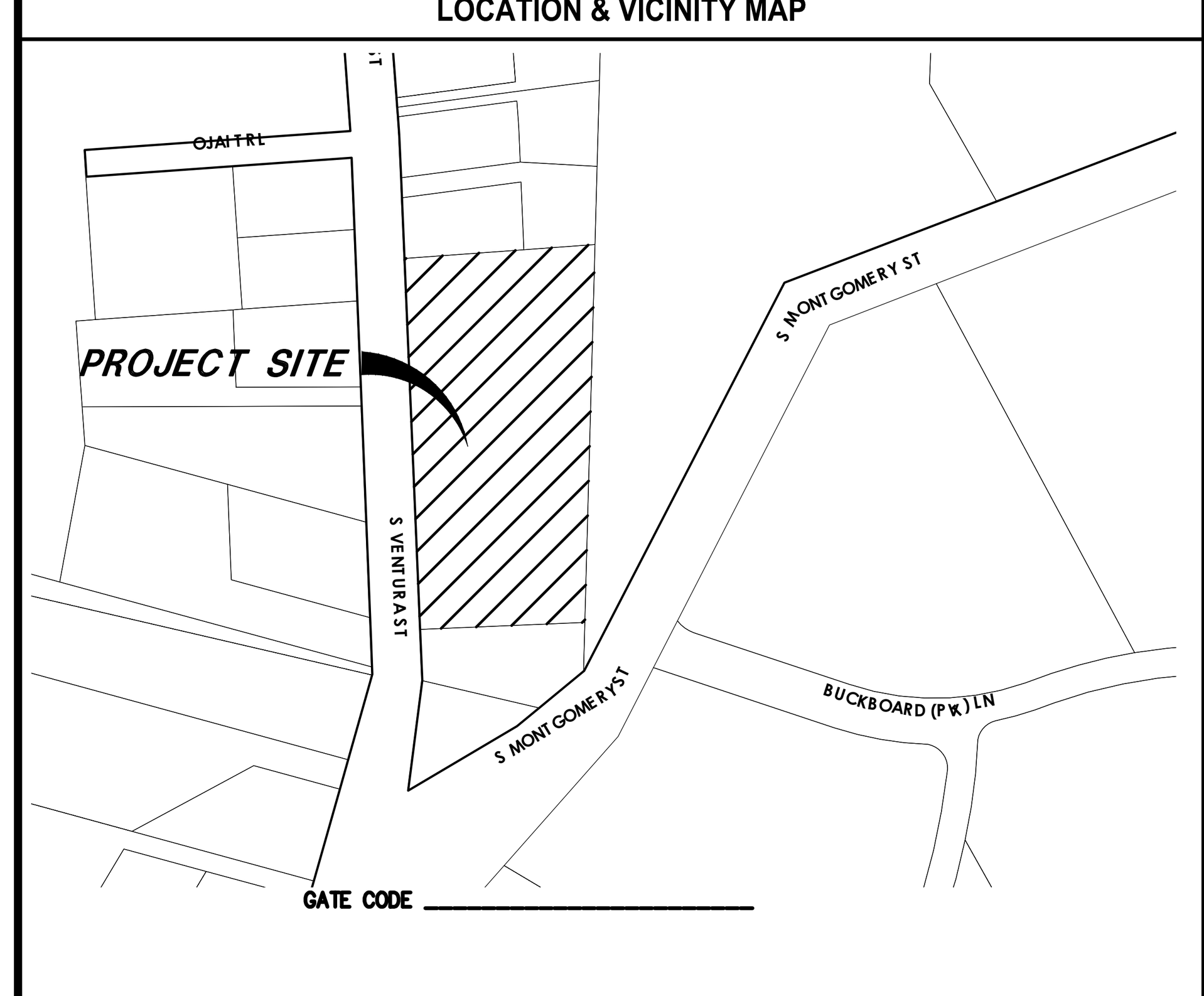
1) TERRACE DRAINS, INTERCEPTOR DRAINS & DOWNDRAINS SHALL BE CONSTRUCTED OF MINIMUM 3" REINFORCED CONCRETE REINFORCED WITH 6 x 6 x 10 x 10 W.W.M. & SHALL BE OF EITHER SEMI-CIRCULAR OR TRIANGULAR CROSS SECTION.

2) FOR INTERCEPTOR DRAIN AT TOP OF CUT SLOPES AND DOWN DRAINS, MINIMUM WIDTH OF 3 FEET.

DETAIL B
NTS

Jul 23, 2025

LOCATION & VICINITY MAP



APPROVAL BY CONSULTANTS

THIS GRADING PLAN IS ACCEPTABLE IN REGARD TO SOILS (AND GEOLOGIC - IF APPLICABLE) CONDITIONS AND CONFORMS TO THE RECOMMENDATION OF THE SUPPORTIVE REPORT(S) DATED:

SOILS ENGINEERING REPORTS: ________ 20____

________ (SOILS ENGINEER SIGNATURE)

________ (PRINT NAME) ________ (RCE NO.)

GEO COMPANY NAME
123 EASY WAY VENTURA, CA 93003
(805) 555-5555
GEO@AOL.COM

ENGINEERING GEOLOGY REPORTS: ________ 20____

________ (ENGINEERING GEOLOGIST SIGNATURE)

________ (PRINT NAME) ________ CERT. NO.

GEO COMPANY NAME
123 EASY WAY VENTURA, CA 93003
(805) 555-5555
GEO@AOL.COM

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH THE ADOPTED COUNTY STANDARDS, AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN THE PROFESSIONAL ENGINEERS ACT. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS BY THE COUNTY OF VENTURA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF RECORD, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

________ (CIVIL ENGINEER SIGNATURE)

________ (PRINT NAME) ________ (RCE NO.)

SANBELL
1672 DONLON STREET, VENTURA, CA 93003
(805) 654-6977
INFO.VENTURA1@SANBELL.COM

OWNER/APPLICANT

OJAI DIGNITY MOVES
123 EASY WAY VENTURA, CA 93003

BENCH MARK DATA

VENTURA COUNTY VCPID 982

BRASS DISK STAMPED "49-21 RM-1 1986" SET ON THE SOUTHEAST CORNER OF A CONCRETE CATCH BASIN LOCATED ON THE NORTHERLY SIDE OF MONTGOMERY STREET, APPROXIMATELY 1,300 FEET SOUTHERLY ALONG MONTGOMERY STREET FROM ITS INTERSECTION WITH OJAI AVENUE (STATE HIGHWAY 150), IN THE CITY OF OJAI, VENTURA COUNTY, CA.

ELEVATION: 711.74 FEET (NAVD 88)

TOPOGRAPHY DATA

TOPOGRAPHIC SURVEY CONDUCTED USING CONVENTIONAL METHODS ON SEPTEMBER 17, 2024, BY JEREMY HENRY, PLS 8135. SURVEY DATA IS REFERENCED TO NAD 83, CALIFORNIA ZONE 5, US SURVEY FOOT, AND NAVD 88 VERTICAL DATUM. CONTOUR INTERVALS ARE SHOWN AT 1-FOOT INTERVALS.

REGISTERED PROFESSIONAL ENGINEER
SUSANNE M. COOPER
No. C060448
CIVIL
STATE OF CALIFORNIA

Design Development
NOT FOR CONSTRUCTION
25 July 2025

WDID: ________ APN: 023-0-120-020 GP GP NO

	REVISION	DESCRIPTION	RCE	APP.	DATE
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sanbell
Intelligent Infrastructure Enduring Communities
1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE 805/654-6977
WEB www.sanbell.com

SUSANNE M. COOPER R.C.E. C060448 DATE

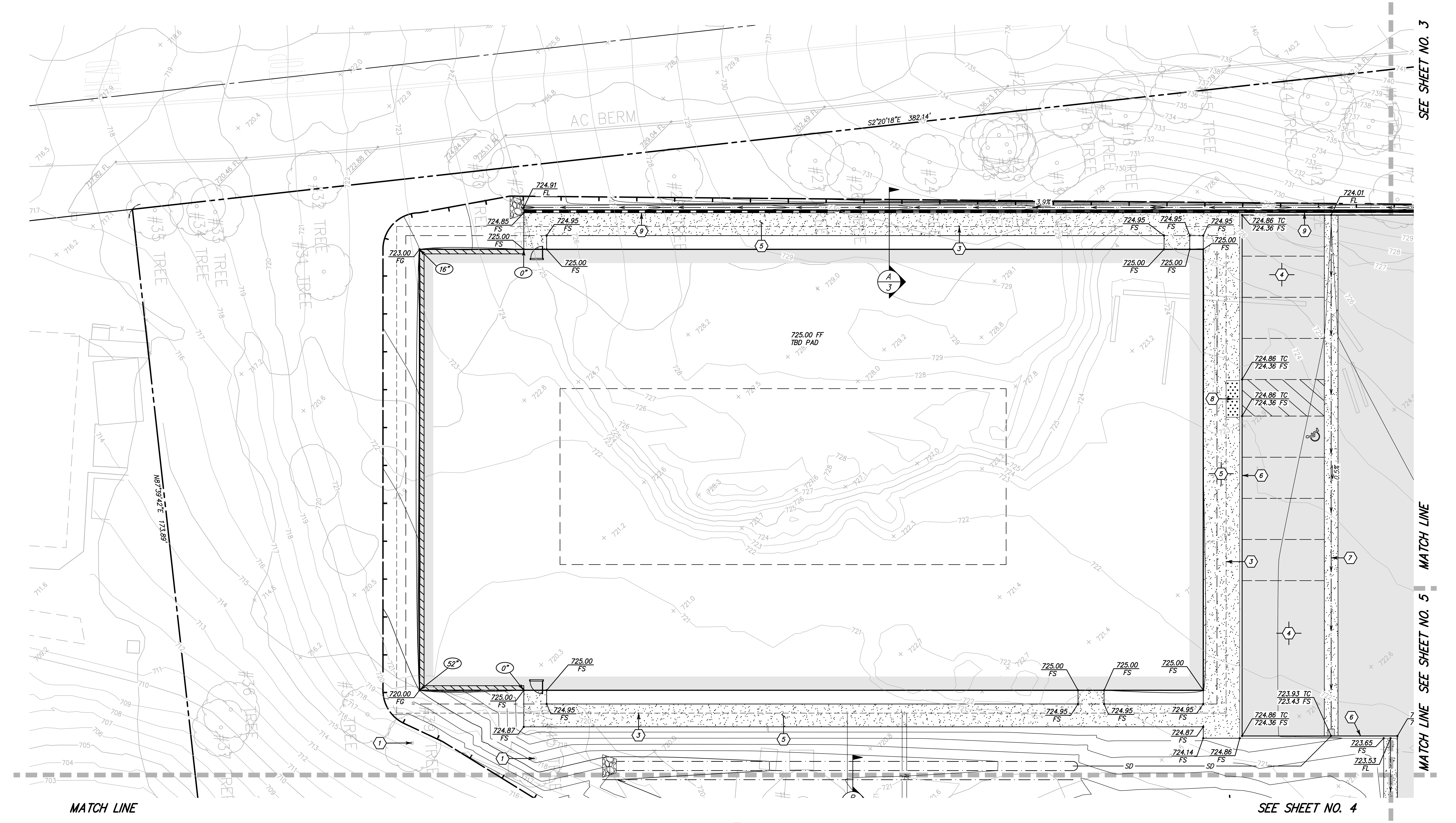
DESIGNED ________ DRAWN ________
APPROVED: CITY OF OJAI
DATE: ________
BY: ________
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

GRADING PLAN COVERSHEET
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 1 OF 8
DRAWING NO. DWG NO



NOTICE TO THE CONTRACTOR

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CONSTRUCTION NOTES

1. REMOVE EXISTING TREE.
2. EXISTING TREE TO REMAIN. PROTECT IN PLACE.
3. MINIMUM OVEREX. & RECOMPACTION LIMITS PER SOILS REPORT.
4. INSTALL 3" A.C. ON 4" MIN. AGGREGATE BASE. FINAL SECTION TO BE DETERMINED BY SOILS ENGINEER.
5. CONSTRUCT 4" THICK P.C.C. SIDEWALK PER SPPWC STD. PLAN 112-1. WIDTH PER PLAN.
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7. CONSTRUCT RIBBON GUTTER PER SPPWC STD. PLAN 122-3, MODIFIED TO 3' WIDTH.
8. CONSTRUCT CURB RAMP PER SPPWC STD. PLAN 111-5 CASE B, TYPE 1.
9. RETAINING WALL PER SEPARATE PLAN & PERMIT.

REGISTERED PROFESSIONAL ENGINEER SUSANNE M. COOPER No. C060448 CIVIL STATE OF CALIFORNIA

Design Development
NOT FOR CONSTRUCTION
25 July 2025

Jul 23, 2025 GRADING

A.P. No.: 023-0-120-020 G.P. No.: GP NO

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PHONE 805/654-6977
WEB www.sanbell.com
SUSANNE M. COOPER R.C.E. C060448 DATE

DESIGNED CE DRAWN CE
APPROVED: CITY OF OJAI
DATE:
BY:
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

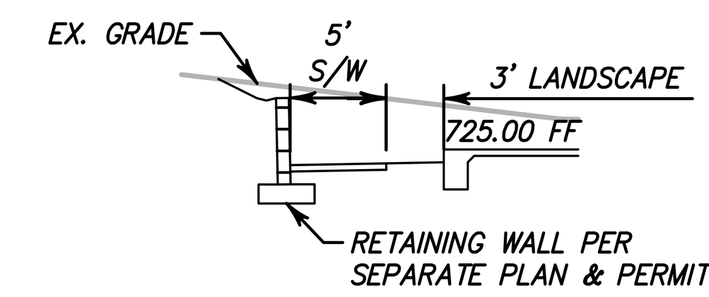
SPEC. NO.
PROJ. NO.

GRADING
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

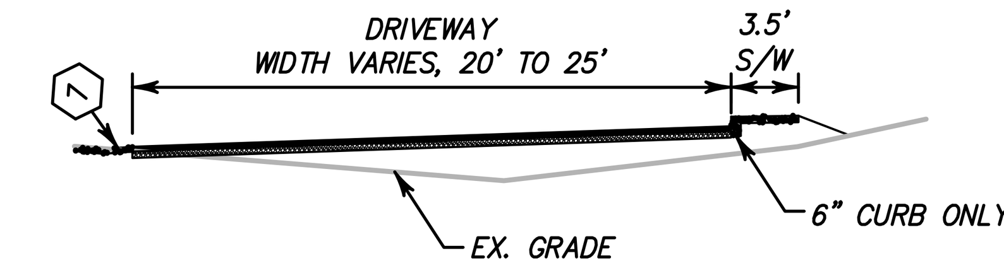
SHEET 2 OF 8
DRAWING NO. DWG NO

MATCH LINE

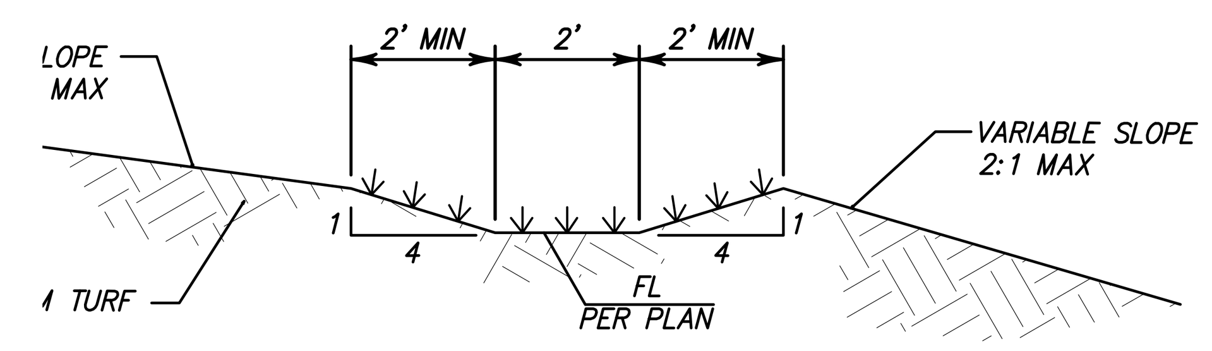
SEE SHEET NO. 5



A — SECTION A-A
NOT TO SCALE



C — SECTION C-C
NOT TO SCALE



B — BIOSWALE DETAIL
NOT TO SCALE

CONSTRUCTION NOTES

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10' 5' 0' 10' 20'
GRAPHIC SCALE: 1"=10'

REGISTERED PROFESSIONAL ENGINEER — SUSANNE M. COOPER — No. C060448 — CIVIL — STATE OF CALIFORNIA

Design Development
NOT FOR CONSTRUCTION
25 July 2025

Jul 23, 2025 GRADING

A.P. No.: 023-0-120-020   G.P. No.: GP NO

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sanbell — Intelligent Infrastructure Enduring Communities
1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE 805/654-6977
WEB www.sanbell.com
SUSANNE M. COOPER R.C.E. C060448   DATE

DESIGNED CE   DRAWN CE
APPROVED: CITY OF OJAI
DATE:
BY:
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

GRADING
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 3 OF 8
DRAWING NO.
DWG NO

Jul 23, 2025
GRADING

Know what's below. Call before you dig.

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REGISTERED PROFESSIONAL ENGINEER
SUSANNE M. COOPER
No. C060448
CIVIL
STATE OF CALIFORNIA

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Design Development
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PHONE 805/654-6977
WEB www.sanbell.com
SUSANNE M. COOPER R.C.E. C060448 DATE

DESIGNED CE DRAWN CE
APPROVED: CITY OF OJAI
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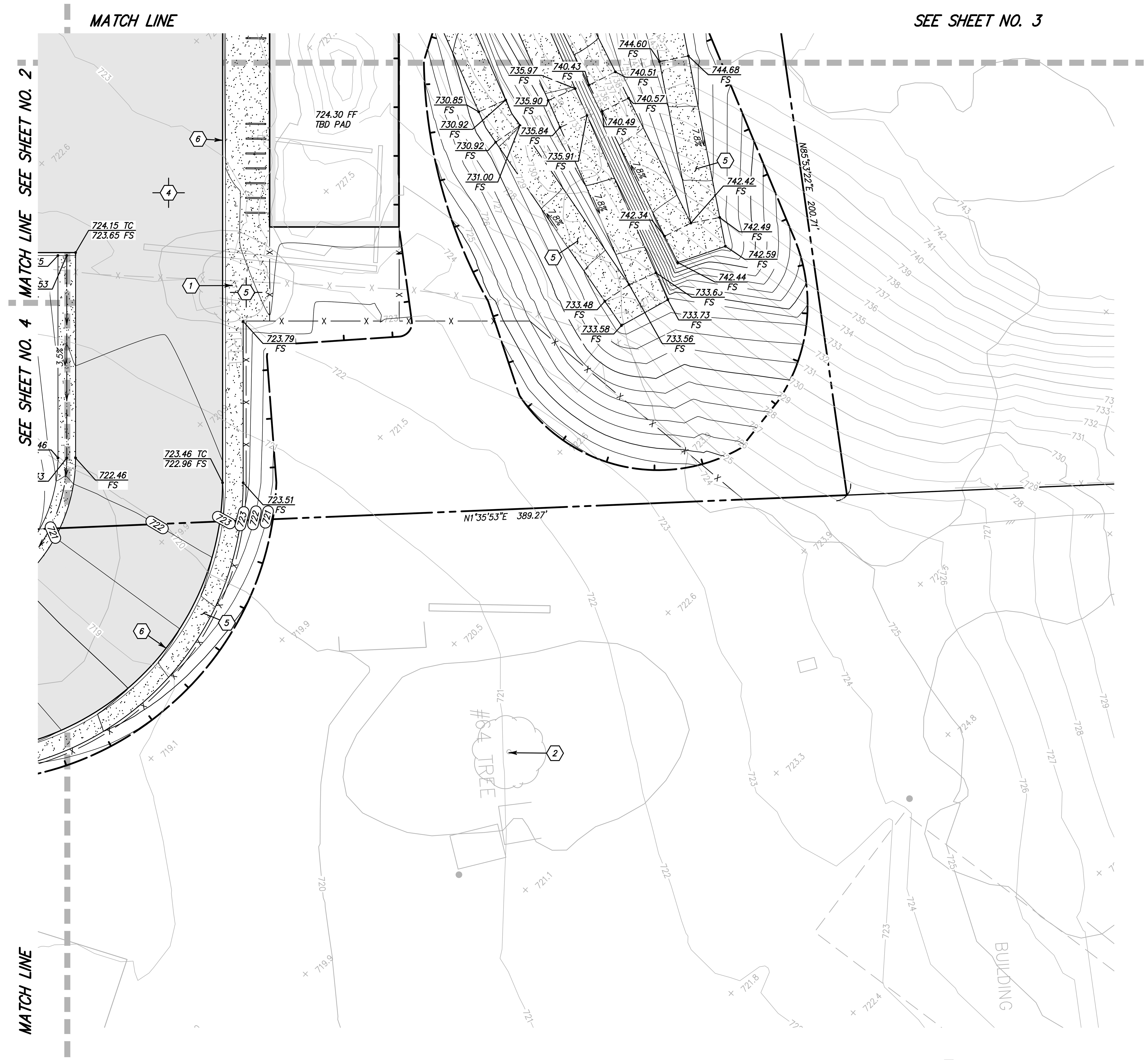
BY:
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

GRADING
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 4 OF 8
DRAWING NO.
DWG NO



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10' 5' 0' 10' 20'
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REGISTERED PROFESSIONAL ENGINEER SUSANNE M. COOPER No. C060448 CIVIL STATE OF CALIFORNIA

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NOT FOR CONSTRUCTION
25 July 2025

Jul 23, 2025 GRADING

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SUSANNE M. COOPER R.C.E. C060448 DATE

DESIGNED CE DRAWN CE
APPROVED: CITY OF OJAI
DATE:
BY:
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

GRADING
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 5 OF 8
DRAWING NO. DWG NO

Jul 23, 2025

CONSTRUCTION NOTES

1. INSTALL 6" PVC SDR-35 SEWER.
2. INSTALL LATERAL CLEANOUT PER SPPWC STANDARD PLAN 204-3.
3. JOIN EXISTING MANHOLE PER SPPWC STANDARD PLAN 208-3.
4. INSTALL X" HOT TAPPING SADDLE PER CMWD STANDARD DETAIL SD-111 AND SD-112 WITH A X" SERVICE AND METER.
5. INSTALL 6" PVC C900 FIRE SERVICE WITH DOUBLE DETECTOR CHECK VALVE ASSEMBLY PER CMWD STANDARD DETAIL SD-110.
6. INSTALL 6" WET BARREL FIRE HYDRANT ON CONCRETE PAD PER CMWD STANDARD DETAIL SD-109.
7. INSTALL 6" C-900 CLASS 305 FIRE LINE. FINAL SIZE TO BE DETERMINED BY FIRE SPRINKLER CONTRACTOR. NOTIFY ENGINEER OF ANY CONFLICTS.
8. INSTALL 6" PVC SDR-35 STORM DRAIN LINE PER MANUFACTURER SPECIFICATIONS. SLOPES & INVERTS PER PLAN.
9. INSTALL BROOKS PRODUCTS 12X12 TRAFFIC-RATED CATCH BASIN, OR EQUAL.
10. CONSTRUCT PIPE OUTLET STRUCTURE PER DETAIL A HEREON.
11. CONSTRUCT RIPRAP PER DETAIL B HEREON.

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REGISTERED PROFESSIONAL ENGINEER SUSANNE M. COOPER No. C060448 CIVIL STATE OF CALIFORNIA

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SUSANNE M. COOPER R.C.E. C060448   DATE

DESIGNED CE   DRAWN CE
APPROVED: CITY OF OJAI
DATE:
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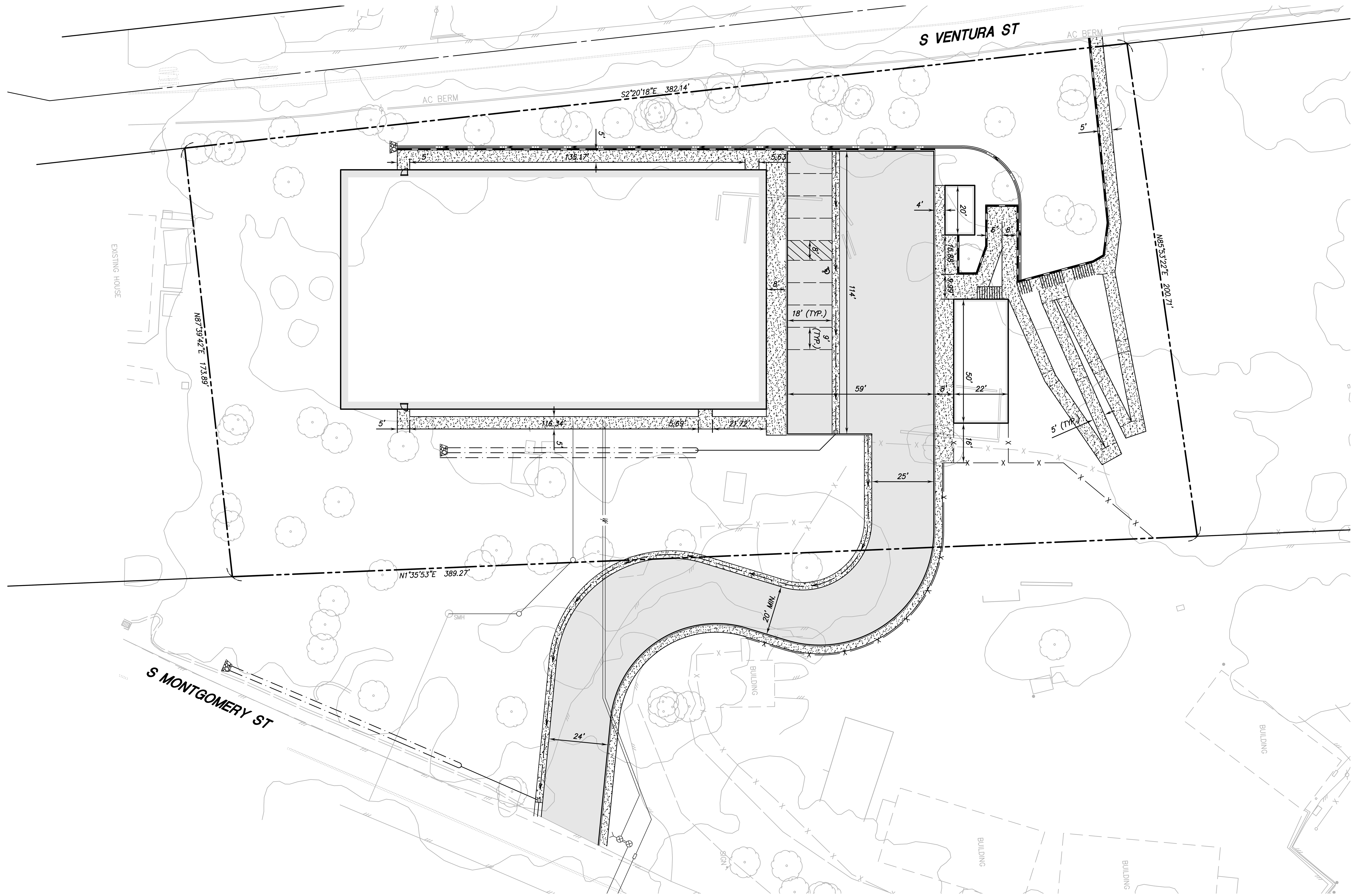
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

COMPOSITE UTILITY PLAN
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 6 OF 8
DRAWING NO. DWG NO



20' 10' 0' 20' 40'
GRAPHIC SCALE: 1"=20'

REGISTERED PROFESSIONAL ENGINEER
SUSANNE M. COOPER
No. C060448
CIVIL
STATE OF CALIFORNIA

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SUSANNE M. COOPER R.C.E. C060448 DATE

DESIGNED CE DRAWN CE
APPROVED: CITY OF OJAI
DATE:
BY:
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

HORIZONTAL CONTROL PLAN
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

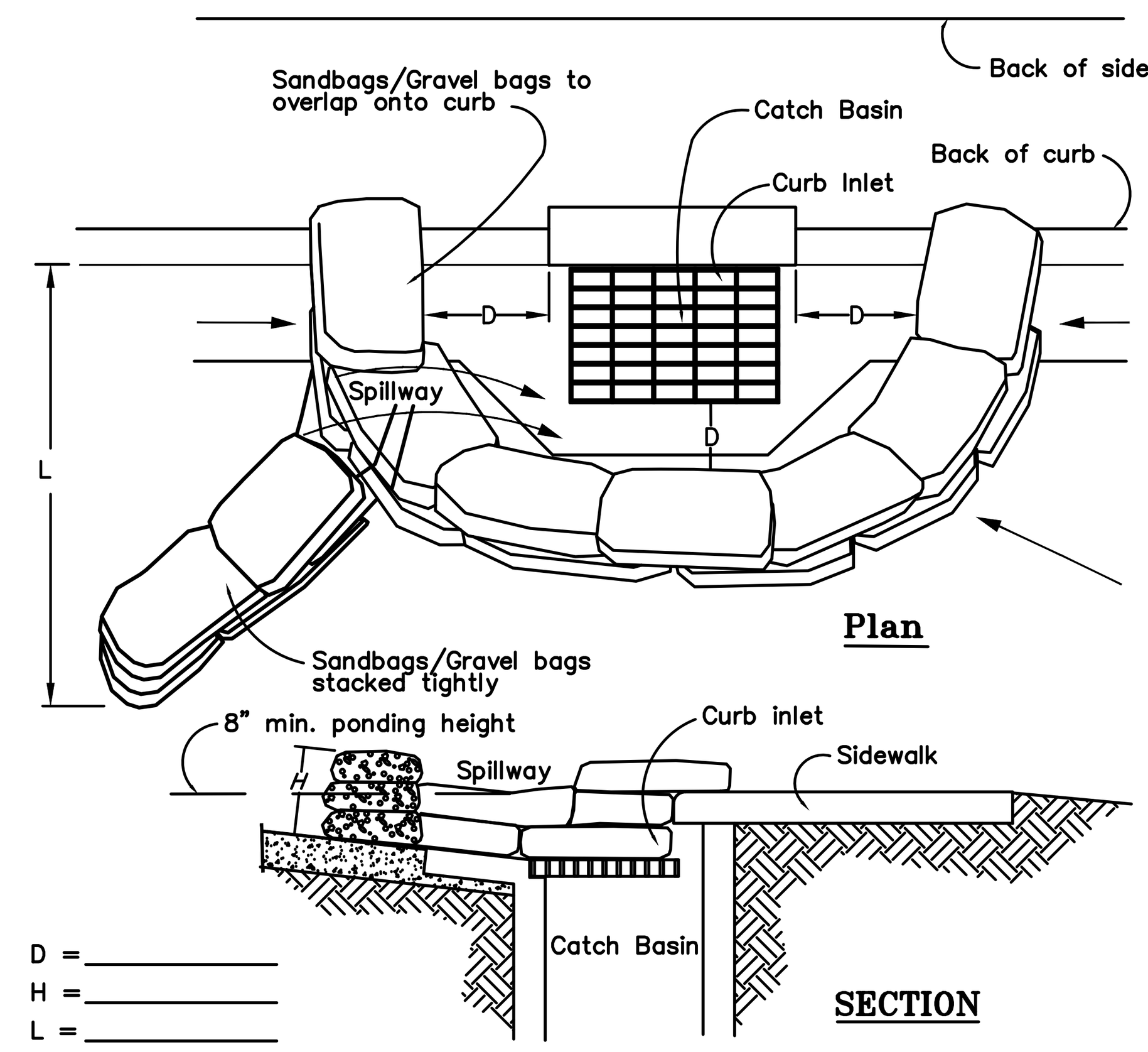
SHEET 7 OF 8
DRAWING NO. DWG NO

Jul 23, 2025 HORIZONTAL CONTROL

General Notes

1. Best Management Practices (BMP's) contained herein reflect minimum requirements. For additional BMP's refer to California Stormwater BMP Handbooks.
2. All construction activity shall be performed in accordance with a Storm Water Pollution Prevention Plan (SWPPP, 1 acre and larger) and/or a Storm Water Pollution Control Plan (SWPCP, less than 1 acre) developed and implemented in compliance with requirements of the Ventura Countywide Stormwater Quality Management Program, National Pollution Discharge Elimination System (NPDES) Permit No. CAS063339.
3. The SWPPP / SWPCP shall:
   a. Identify potential pollutant sources and include the design and placement of BMP's to effectively prohibit the entry of pollutants from the construction site into and onto the street and storm drain system during construction.
   b. Be kept on site and amended to reflect changing conditions throughout the course of construction.
   c. Be kept up to date. Any additional updates requested by agency representatives are to be made immediately.
4. Non-Stormwater discharges are prohibited from entering any storm drain system and/or street.
5. Discharges of pumped ground water require a discharge permit from the State of California Regional Water Quality Control Board (RWQCB).
6. Pollutants shall be removed from stormwater discharges to the Maximum Extent Practicable (MEP) through design & implementation of the SWPPP / SWPCP.
7. A standby crew for emergency work shall be available at all times during the rainy season (Oct. 1 to Apr. 15). Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain is imminent.
8. Portable sanitary facilities shall be located on relatively level ground away from traffic areas, drainage courses, and storm drain inlets.
9. Employees, subcontractors and suppliers shall be educated on all BMP's including concrete waste storage and disposal procedures.
10. Sediment control practices shall effectively prevent a net increase of sediment load in stormwater discharge.

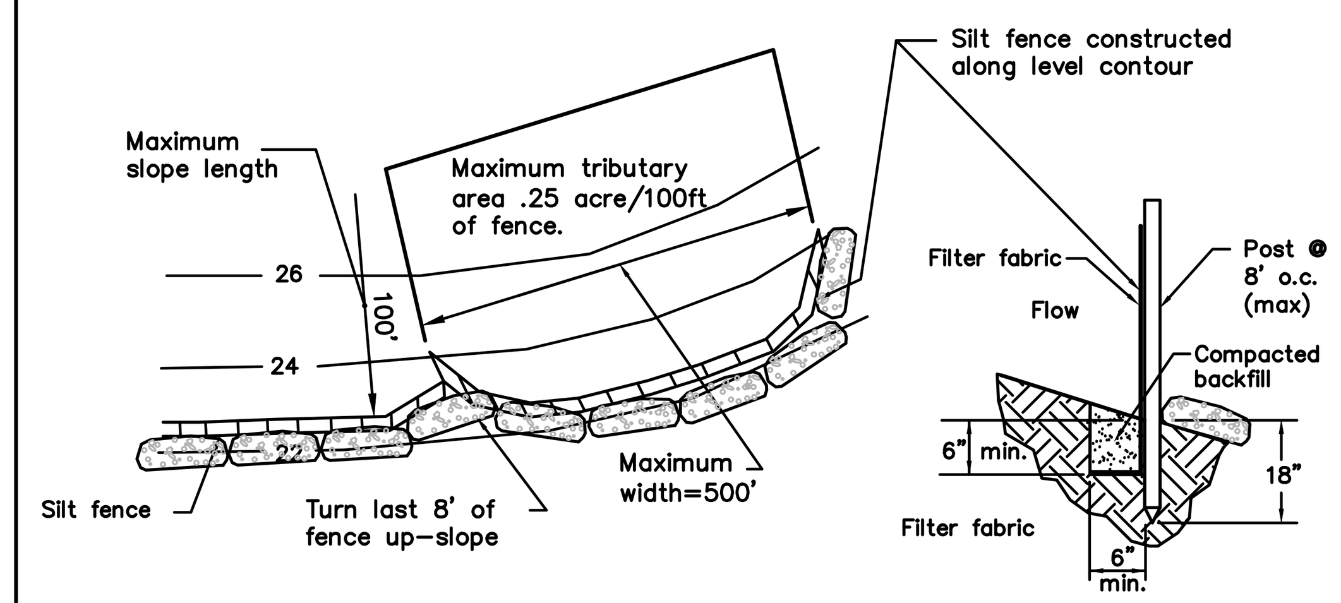
A Catch Basin/Inlet Protection



Notes:

1. Catch Basin/Inlet protection shall be installed wherever there is a potential of stormwater or non-stormwater being discharged into it.
2. Inlet protection is required along with other pollution prevention measures such as; erosion control, soil stabilization, and measures to prevent tracking onto paved surfaces.
3. Modify inlet protection as needed to avoid creating traffic hazards.
4. Include inlet protection measures at hillside v-ditches and misc. drainage swales.
5. Inlet protection shall be inspected and accumulated sediments removed. Sediment shall be disposed of properly and in a manner that assures that the sediment does not enter the storm drain system
6. Damaged bags shall be replaced immediately.
7. Additional sandbag sediment traps shall be placed at intervals as indicated on site plan.

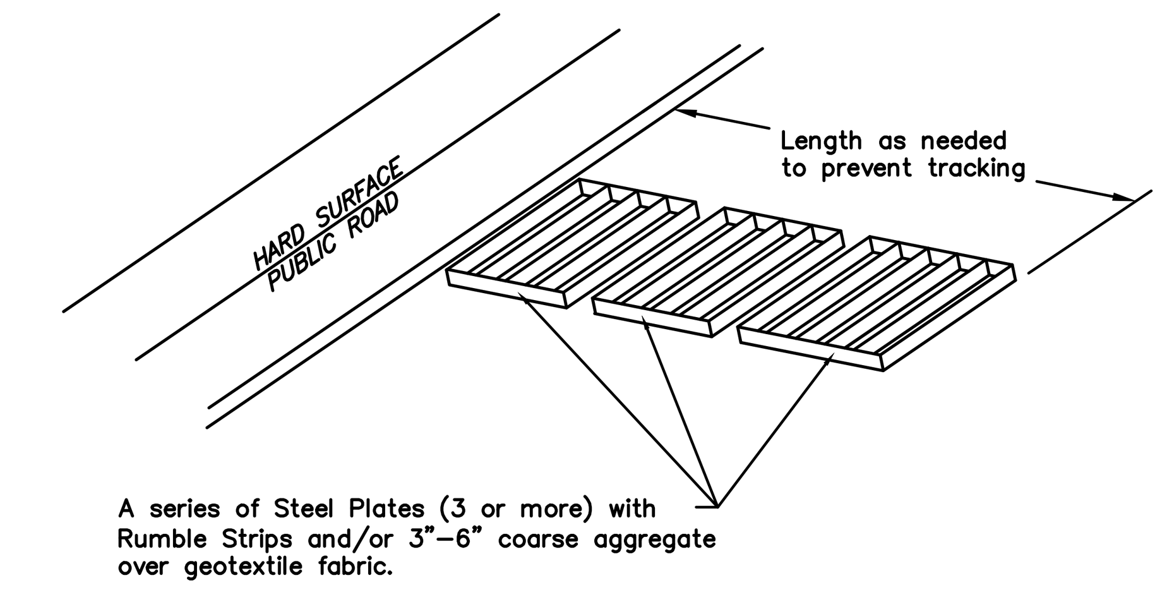
B Silt Fence



Notes:

1. Maintain silt fence for duration of construction period. Construct the silt fence along a level contour.
2. Silt fences shall remain in place until the disturbed area is permanently stabilized.
3. Provide sufficient room for runoff to pond behind the fence and allow sediment removal equipment to pass between the silt fence and toe of slope or other obstructions. About 1200 sq. ft. of ponding area shall be provided for every acre draining to the fence.
4. Turn the ends of the filter fence uphill to prevent stormwater from flowing around the fence.
5. Leave an undisturbed or stabilized area immediately downslope from the fence.
6. Do not place in live stream or intermittently flowing channels.
7. When standard filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy-duty wire staples at least 1 inch long, tie wires or hog rings.

C Stabilized Construction Entrance



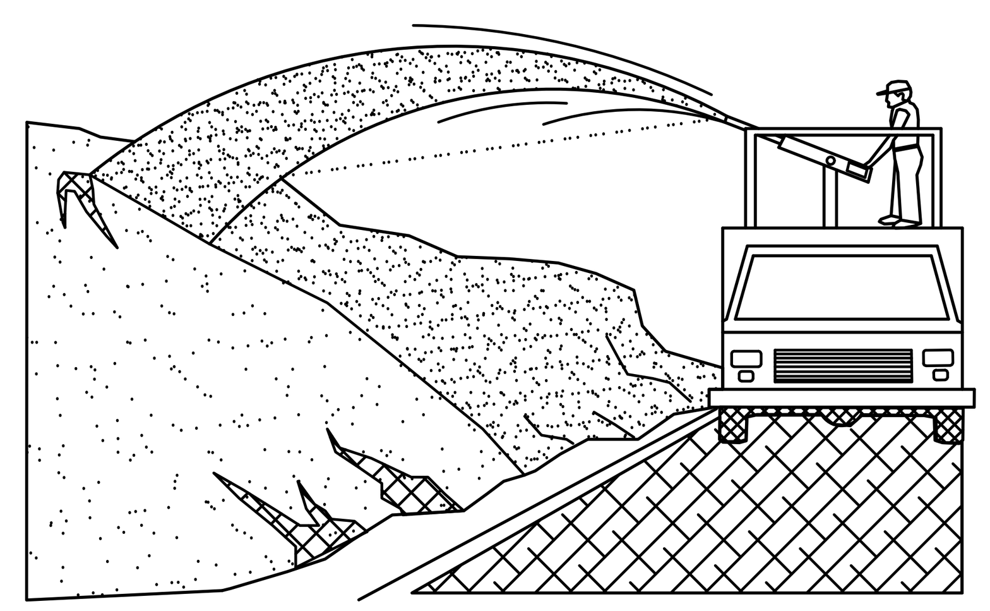
Notes:

1. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways shall be stabilized so as to prevent sediments from being deposited into the public roads. Depositions must be swept up immediately and may not be washed down by rain or other means into the storm drain system.
2. Stabilized construction entrance shall be:
   a. Located at any point where traffic will be entering or leaving a construction site to or from a public right of way, street, alley, and sidewalk or parking area.
   b. A series of steel plates with "rumble strips", and/or 3"-6" coarse aggregate, min. 12" thickness, with length & width as needed to adequately prevent any tracking onto paved surfaces.
3. Adding a wash rack with a sediment trap large enough to collect all wash water can greatly improve efficiency.
4. All vehicles accessing the construction site shall utilize the stabilized construction entrance sites.

Street Maintenance

1. Remove all sediment deposited on paved roadways immediately.
2. Sweep paved areas that receive construction traffic whenever sediment becomes visible.
3. Pavement washing with water is prohibited if it results in a discharge to the storm drain system.

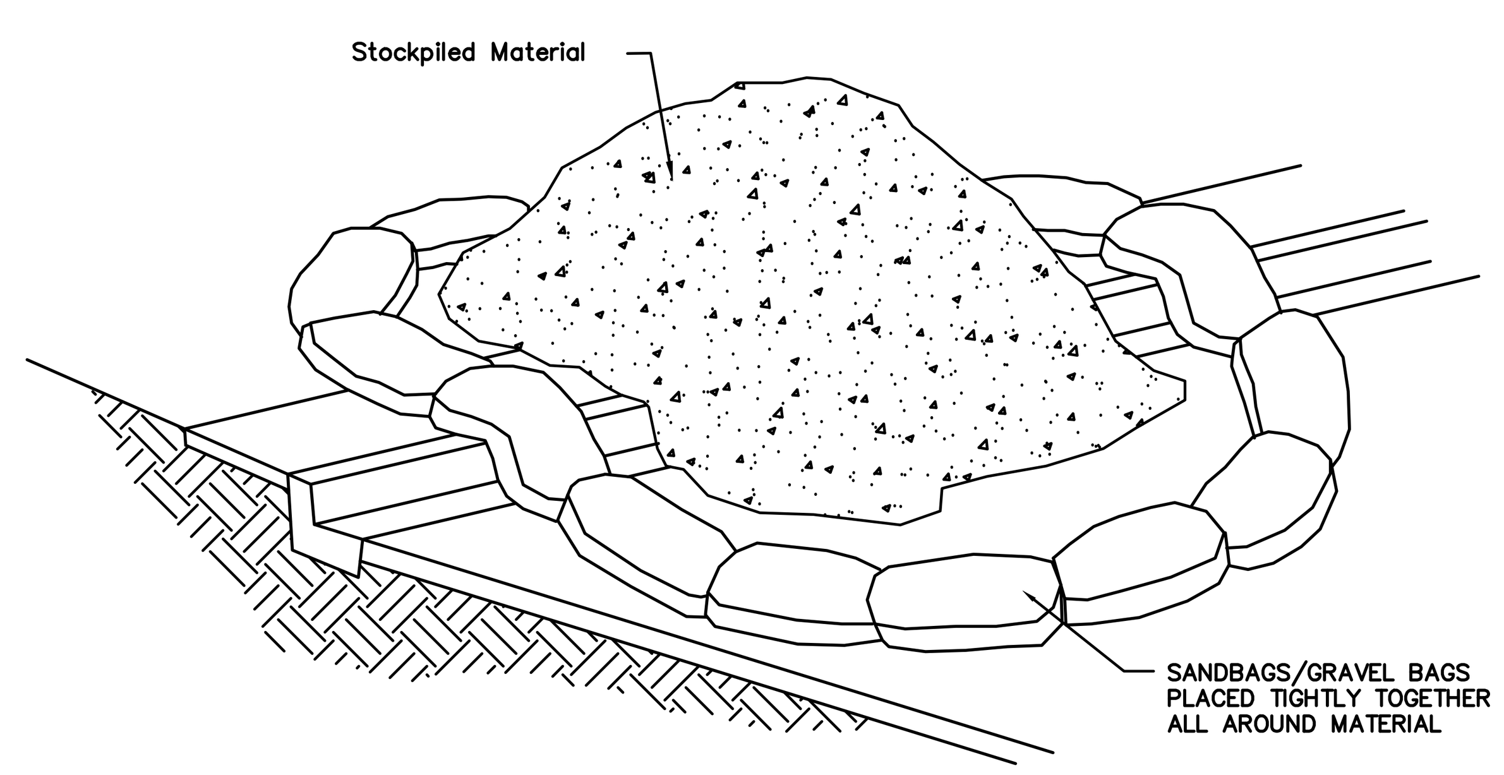
D Erosion Control



Notes:

1. Soil/Slope stabilization practices shall be designed to preserve existing vegetation where feasible and to revegetate open areas as soon as feasible after grading. These control practices shall include temporary seeding, permanent seeding, mulching, sod stabilization, vegetative buffer strips, protection of trees, or other soil stabilization practices.
2. Soil stabilization shall be implemented year-round. Exposed soil and stockpiles shall be covered after 14 days of inactivity.
3. Stabilization practices shall control/prevent erosion from the forces of wind and water.
4. Stabilization practices shall be implemented in conjunction with sediment trapping/filtering practices and practices to reduce the tracking of sediment onto paved roads.
5. When using straw mulching, the minimum application shall be 1.5 tons/acre. Mulch must be anchored immediately to minimize loss by wind or water.
6. When using hydroseeding/mulching, the minimum application of wood fiber shall be 2,000 lbs/acre, that does not contain more than 50 percent newsprint.
7. For seeding recommendations, contact: USDA, Natural Resources Conservation Service or Ventura County RCD.

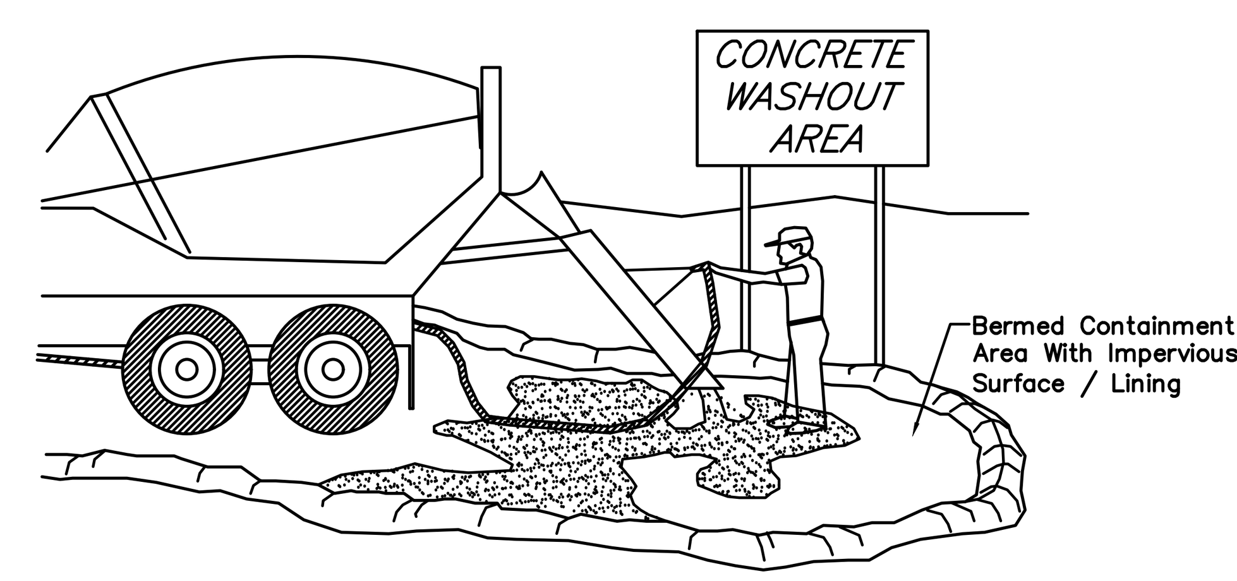
E Material Storage



Notes:

1. Dirt and other construction related materials placed in the street or on other impervious surfaces must be contained with sandbags or other measures to prevent transport to the stormdrain system.
2. Any construction material stored or stockpiled on-site shall be protected from being transported by the force of wind or water.

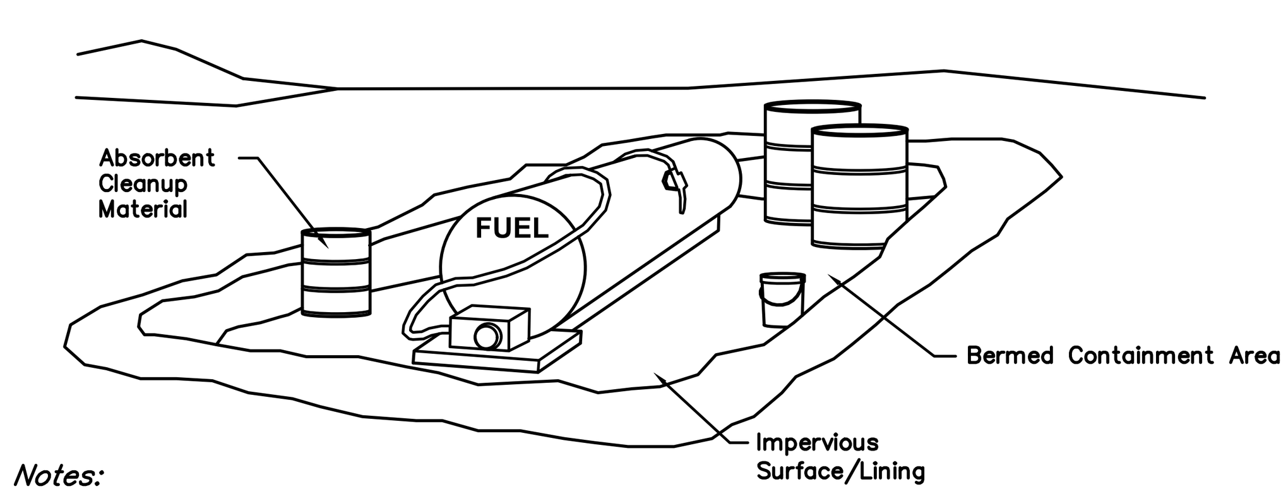
F Concrete Waste Management



Notes:

1. Excess and waste concrete shall not be washed into the street or into a drainage system.
2. For washout of concrete and mortar products, a designated containment facility of sufficient capacity to retain liquid and solid waste shall be provided on site.
3. Slurry from concrete and asphalt saw cutting shall be vacuumed or contained, dried, picked up and disposed of properly.

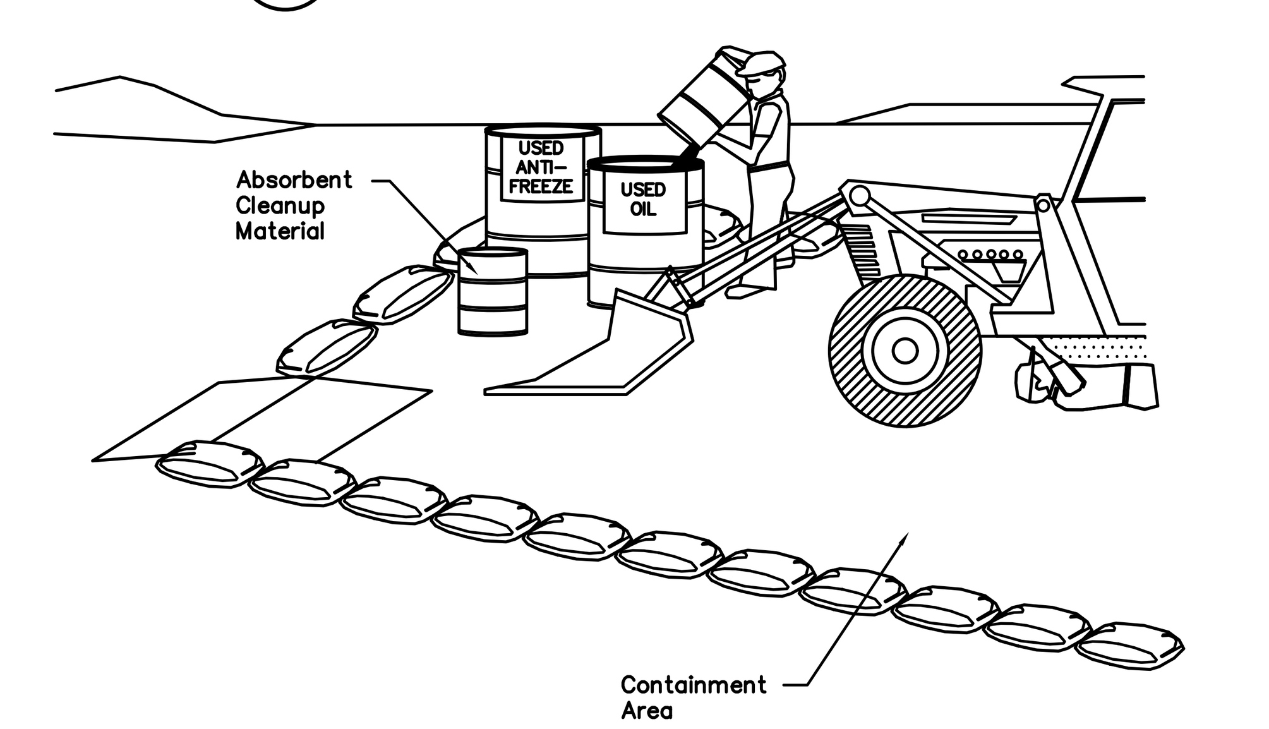
G Vehicle/Equipment Fueling



Notes:

1. Fueling shall be performed in a designated area, min. 50' away from drainage courses.
2. Absorbent cleanup material shall be on site and used immediately in the event of a spill.

H Equipment Repair/Maintenance



Notes:

1. Leaking vehicles and equipment shall not be allowed on-site. Equipment and vehicles shall be inspected frequently for leaks and shall be repaired immediately. Clean up spills and leaks promptly with absorbent materials; do not flush with water.
2. Vehicles and equipment shall be maintained, and repaired on-site only in designated areas. Prevent run-on and run-off from designated areas. Containment devices shall be provided and areas shall be covered if necessary.
3. Designate on-site vehicle and equipment maintenance areas, min. 50' away from storm drain inlets and watercourses.
4. Always use secondary containment, such as a drain pan or drop cloth, to catch spills and leaks when removing or changing fluids.
5. Legally dispose of used oils, fluids, and lubricants.
6. Provide spill containment dikes or secondary containment around stored oil, fuel, and chemical drums.
7. Maintain an adequate supply of absorbent spill cleanup materials in designated area.

Jul 23, 2025 HORIZONTAL CONTROL

811 Know what's below. Call before you dig.

CAUTION:
EXISTING UTILITIES WERE LOCATED FROM BEST AVAILABLE INFORMATION. CONTRACTOR SHALL POTHOLE AND LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

REGISTERED PROFESSIONAL ENGINEER SUSANNE M. COOPER No. C060448 CIVIL STATE OF CALIFORNIA

Design Development
NOT FOR CONSTRUCTION
25 July 2025

A.P. No.: 023-0-120-020 G.P. No.: GP NO

	REVISION	DESCRIPTION	RCE	APP.	DATE
D					
C					
B					
A					
△					

sanbell — Intelligent Infrastructure Enduring Communities
1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE 805/654-6977
WEB www.sanbell.com
SUSANNE M. COOPER R.C.E. C060448 DATE

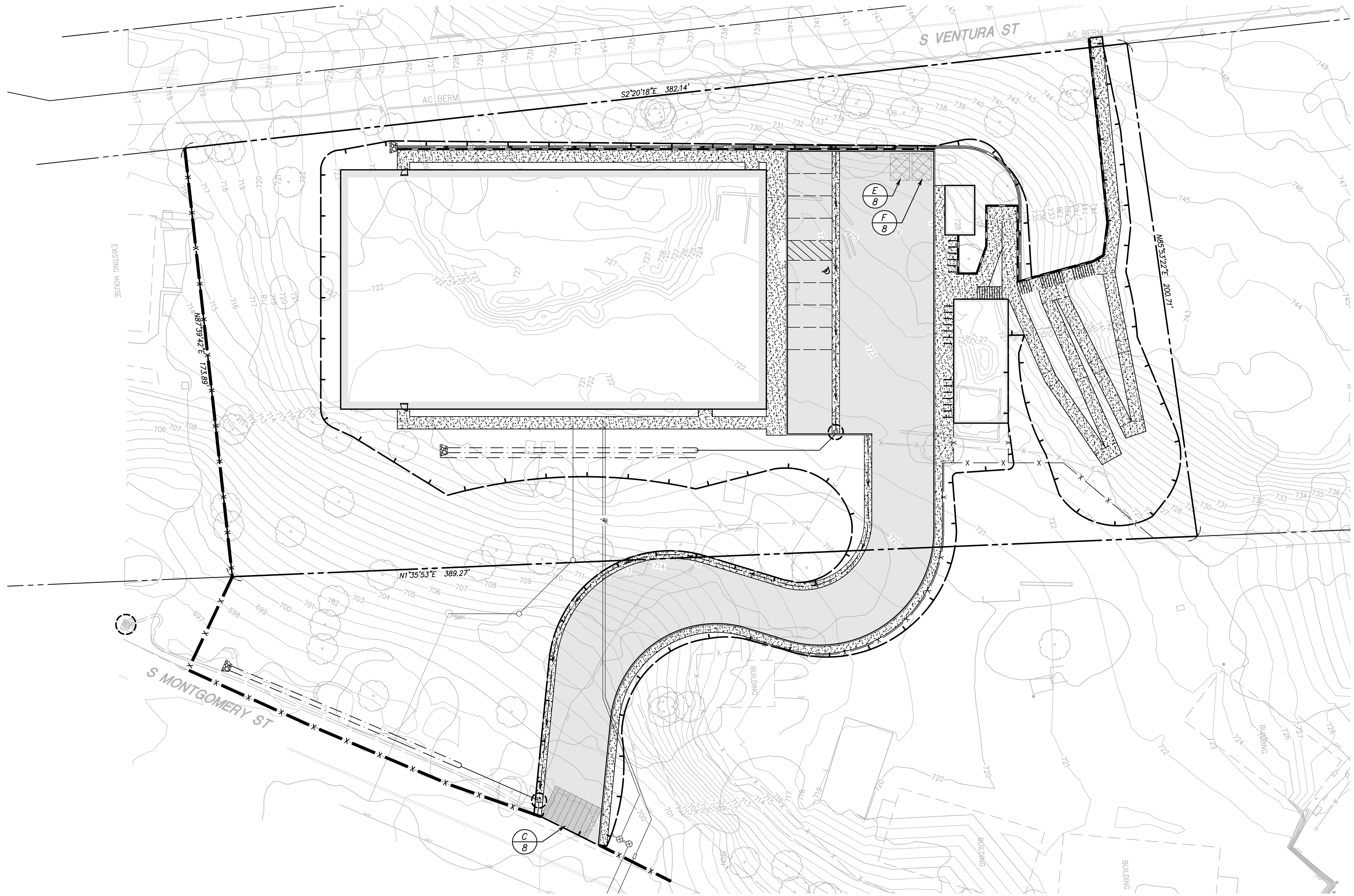
DESIGNED CE DRAWN CE
APPROVED: CITY OF OJAI
DATE:
BY: MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

EROSION CONTROL PLAN COVER SHEET
OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 8 OF 8
DRAWING NO. DWG NO



20' 10' 0' 20' 40'

GRAPHIC SCALE: 1"=20'

REGISTERED PROFESSIONAL ENGINEER
SUSANNE M. COOPER
No. C060448
CIVIL
STATE OF CALIFORNIA

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HORIZONTAL CONTROL

D					
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1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE 805/654-6977
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SUSANNE M. COOPER R.C.E. C060448 DATE

DESIGNED CE DRAWN CE
APPROVED: CITY OF OJAI
DATE:
BY:
MANAGER, DEVELOPMENT & INSPECTION SERVICES

CITY OF OJAI
PUBLIC WORKS AGENCY

SPEC. NO.
PROJ. NO.

EROSION CONTROL PLAN

OJAI DIGNITY MOVES
611 SOUTH MONTGOMERY STREET
OJAI, CA

SHEET 9 OF 8

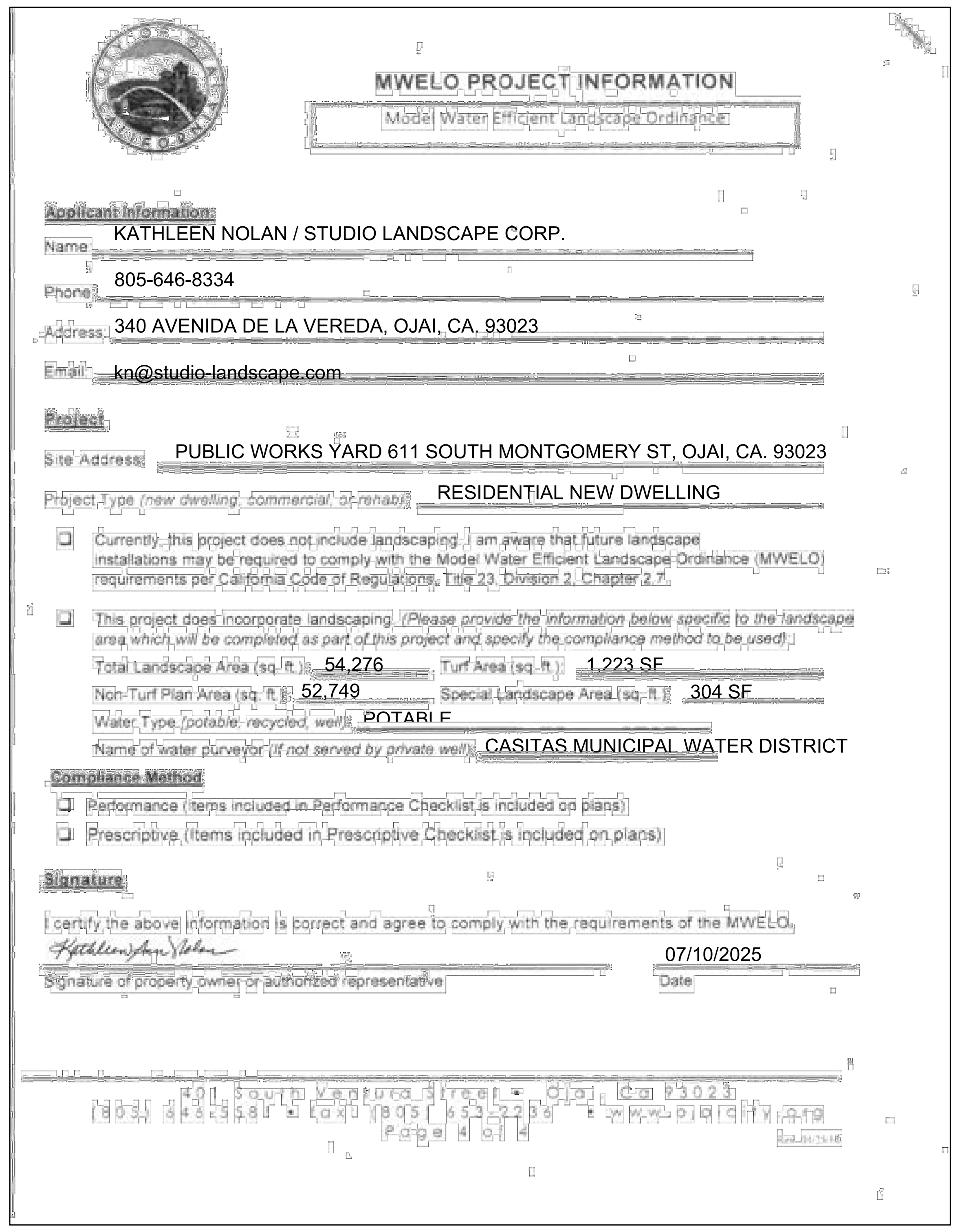
DRAWING NO.
DWG NO

PROJECT INFORMATION

APPLICANT INFORMATION:
PROJECT NAME: DIGNITY MOVES - CITY OF OJAI

PROJECT INFORMATION:
PUBLIC WORKS YARD, 611 SOUTH MONTGOMERY ST., OJAI CA 93023
APN: 023-0-120-020
ZONING: P-L ZONING
PROJECT TYPE: RESIDENTIAL

TOTAL LANDSCAPE AREA: 54,276 SF
TOTAL IRRIGATED LANDSCAPE AREA: 9,999 SF
TOTAL NON-IRRIGATED LANDSCAPE AREA: 43973 SF
TOTAL SPECIAL LANDSCAPE AREA: 304 SF



MWELO PROJECT INFORMATION
Model Water Efficient Landscape Ordinance

Applicant Information:
Name: KATHLEEN NOLAN / STUDIO LANDSCAPE CORP.
Phone: 805-646-8334
Address: 340 AVENIDA DE LA VEREDA, OJAI, CA. 93023
Email: kn@studio-landscape.com

Project
Site Address: PUBLIC WORKS YARD 611 SOUTH MONTGOMERY ST, OJAI, CA. 93023
Project Type (new dwelling, commercial, or rehab): RESIDENTIAL NEW DWELLING

☐ Currently, this project does not include landscaping. I am aware that future landscape installations may be required to comply with the Model Water Efficient Landscape Ordinance (MWELO) requirements per California Code of Regulations, Title 23, Division 2, Chapter 2.7.

☐ This project does incorporate landscaping. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used.)
Total Landscape Area (sq. ft.): 54,276 Turf Area (sq. ft.): 1,223 SF
Non-Turf Plan Area (sq. ft.): 52,749 Special Landscape Area (sq. ft.): 304 SF
Water Type (potable, recycled, well): POTABLE
Name of water purveyor (if not served by private well): CASITAS MUNICIPAL WATER DISTRICT

Compliance Method
☐ Performance (items included in Performance Checklist is included on plans)
☐ Prescriptive (items included in Prescriptive Checklist is included on plans)

Signature
I certify the above information is correct and agree to comply with the requirements of the MWELO.
Signature of property owner or authorized representative
Date: 07/10/2025

401 South Ventura Street • Ojai, CA 93023
(805) 646-5581 • fax (805) 653-2236 • www.ojaicity.org
Page 4 of 4

DIG ALERT

811 DIG ALERT CALL BEFORE YOU DIG

http://california811.org

UNDERGROUND SERVICE ALERT

9 THINGS TO REMEMBER

1. DELINEATE THE SITE. IT'S MANDATORY THAT YOU OUTLINE THE PROPOSED EXCAVATION SITE WITH WHITE PAINT OR STAKES.
2. DIAL BEFORE YOU DIG. IT'S THE LAW. NO MATTER WHAT SIZE JOB YOU PLAN, CALL BEFORE YOU EXCAVATE. THE LAW PROVIDES PENALTIES FOR THOSE WHO DO NOT COMPLY.
3. CALL AT LEAST TWO WORKING DAYS BEFORE. YOU MAY CALL 14 DAYS PRIOR TO EXCAVATION. BUT DON'T WAIT UNTIL THE LAST MINUTE!
4. YOU'RE RESPONSIBLE FOR DAMAGE. IF DAMAGE TO UNDERGROUND UTILITIES RESULTS FROM YOUR DIGGING, YOU MAY BE CHARGED THE COST OF REPAIRING IT - PLUS A FINE.
5. MAKE ONLY ONE CALL. THAT'S ALL IT TAKES TO HAVE ALL UNDERGROUND LINES ON YOUR SITE LOCATED AND MARKED BEFORE YOU DIG.
6. THE CALL COSTS YOU NOTHING. THERE'S NO CHARGE TO CALL THE TOLL-FREE 800 NUMBER.
7. CALLING SAVES TIME. THE DIGALERT PROCESS HELPS EXPEDITE YOUR PROJECT BY ELIMINATING ANY SEARCHING FOR UNDERGROUND UTILITIES.
8. EVERYONE SHOULD CALL - NOT JUST PROFESSIONALS. CALLING IS JUST AS IMPORTANT FOR PROPERTY OWNERS AS IT IS FOR PLUMBERS, ELECTRICIANS, CONTRACTORS, LANDSCAPERS, SWIMMING POOL BUILDERS OR ANYONE ELSE.
9. YOUR PERMIT IS NOT VALID WITHOUT A DIGALERT NUMBER. AN EXCAVATION PERMIT DOESN'T MEAN YOU'RE FREE OF RESPONSIBILITY FOR DAMAGE TO UNDERGROUND UTILITIES. MAKE SURE YOU OBTAIN AN UNDERGROUND SERVICE ALERT/DIGALERT NUMBER BY CALLING.

TREE PERMIT (T 25-XXX)

SEE ARBORIST REPORT & TREE PROTECTION PLAN FOR REQUIREMENTS.

SHEET INDEX

L-0 TITLE SHEET
L-1 EXISTING CONDITIONS & DEMO PLAN
L-2 LANDSCAPE SITE PLAN
L-3 LANDSCAPE SITE PLAN
L-4 PLANTING DETAILS
L-5 IRRIGATION CONCEPT PLAN
L-6 IRRIGATION DETAILS
L-7 IRRIGATION DETAILS
L-8 LANDSCAPE MATERIALS & IMAGERY
L-9 LANDSCAPE LIGHTING PLAN
L-10 LANDSCAPE LIGHTING PLAN
L-11 LANDSCAPE LIGHTING SPECIFICATIONS
L-12 TREE PROTECTION PLAN
L-13 TREE PROTECTION PLAN

DEFENSIBLE SPACE ZONES

ZONE 0 (0-5' FROM STRUCTURE)

ZONE 1 (5-30' FROM STRUCTURE)

ZONE 2 (30-100' FROM STRUCTURE)

PROJECT CONTACT LIST

OWNER APPLICANT
CITY OF OJAI
LUCAS SEIBERT
COMMUNITY DEVELOPMENT DIRECTOR
805.646.5581
lucas.seibert@ojai.ca.gov

DEVELOPER
DIGINITY MOVES
MAUREEN BOYER
VP OF INNOVATIVE DESIGN
415.246.3510
maureen@dignitymoves.org

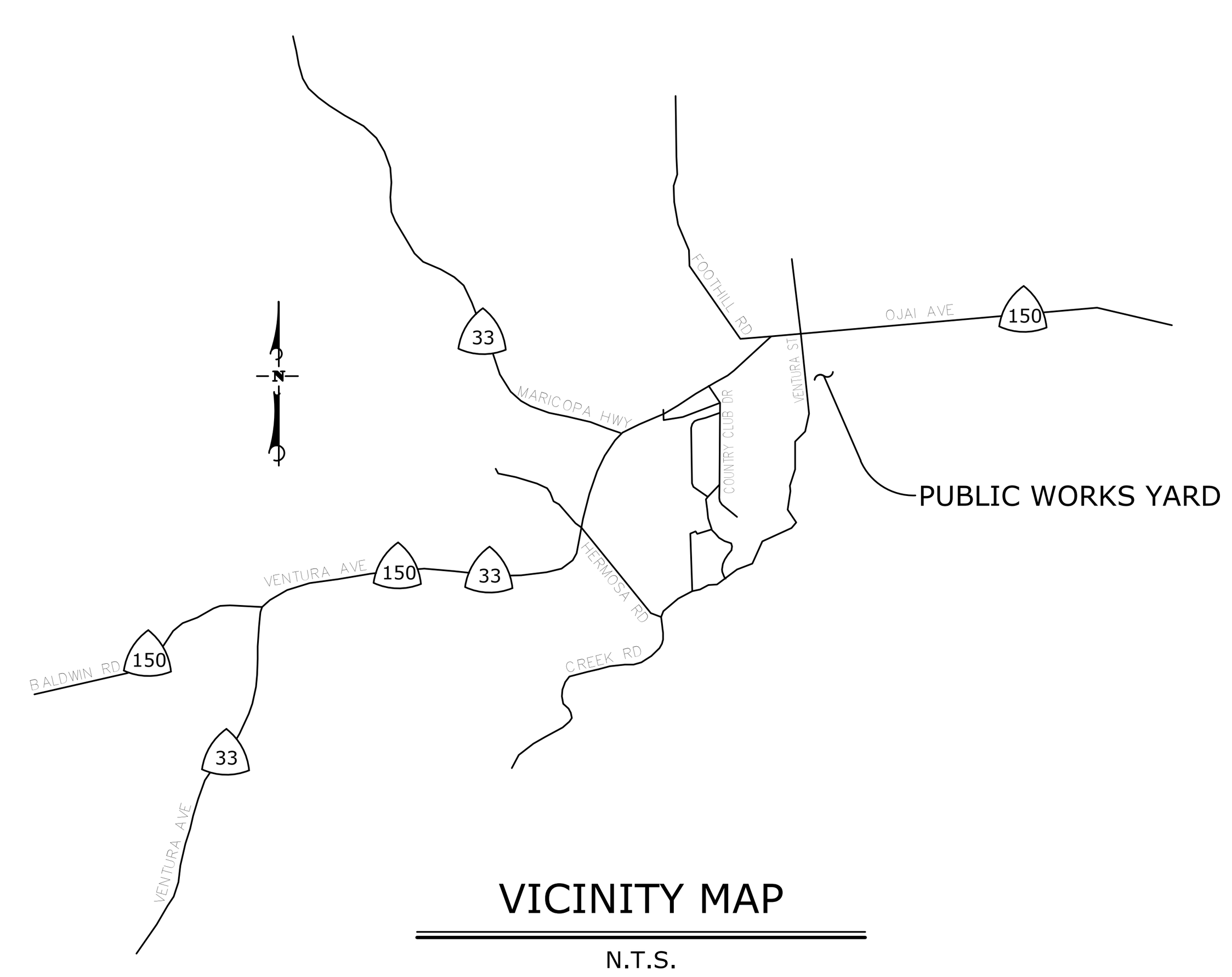
LANDSCAPE ARCHITECT
STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
805.646.8384
kn@studio-landscape.com

ARCHITECT
DJA ARCHITECS, PLLC
DYLAN JOHNSON, AIA
206.459.7027
dylan@djaarchitects.com

CIVIL ENGINNER
SANBELL
SUSAN COOPER, PE
1672 DONLON ST.
VENTURA, CA. 93003
808.633.2225
scopper@jdcivil.com

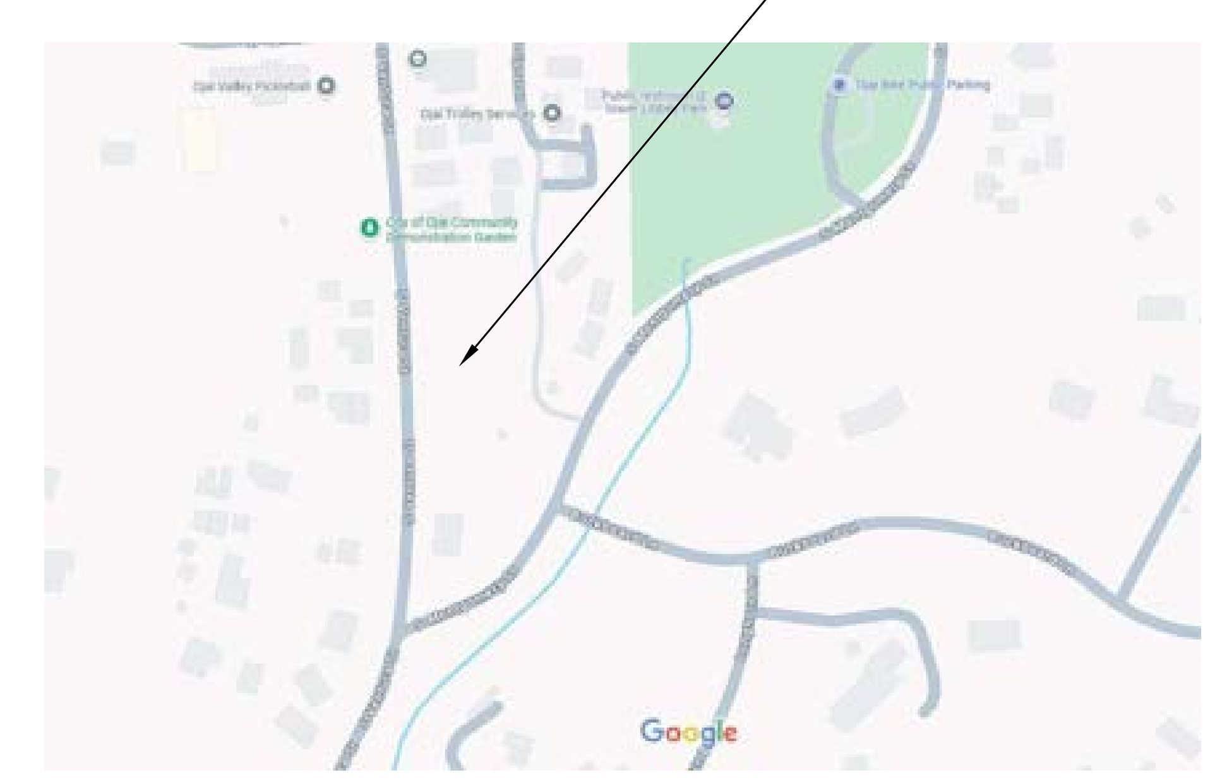
GENERAL NOTE:

PROJECT TO BE BID "***IN ACCORDANCE WITH CALIFORNIA PUBLIC CONTRACT CODE SECTIONS 22030-22045 AND OJAI MUNICIPAL CODE CHAPTER 8-4***" PRODUCT SPECIFICATIONS WILL NEED TO ACCOMMODATE COMPETITIVE BIDDING AND SUBSTITUTIONS ACCORDINGLY.



VICINITY MAP
N.T.S.

LOCATION MAP



DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
340 Avenida de la Vereda
Ojai, CA 93023
tel: 805.646.8384
email: kn@studio-landscape.com
www.studio-landscape.com

LICENSED LANDSCAPE ARCHITECT · KATHLEEN ANN NOLAN #5738 · STATE OF CALIFORNIA · RENEWAL DATE 07-25-2025

DIGNITYMOVES
OJAI PERMANENT SUPPORTIVE HOUSING
PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

TITLE SHEET

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

JOB NUMBER:	25-01 DM
ORIGIN DATE	12.23.24
PLOT DATE	07.25.25
DRAWN BY:	KD
CHECKED BY:	KN
SHEET	1 OF 14

L-0

CALL BEFORE YOU DIG 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG

C:\Users\Keith\Dropbox\studio-landscape\Clients\2025\Dignity Moves 25-01 DM\CAD\CD\L-Title Sheet.dwg

DEMOLITION KEY NOTES:

1. REMOVE BRUSH & WEEDS (SMILO GRASS, MUSTARD, THISTLE SPECIES)
   BARB WIRE FENCING (LEAVE OR REMOVE)
3. REMOVE ASPHALT
4. NON-PROTECTED MISCELLANEOUS SHRUBS (PRIVET, OLEANDER)
5. NON PROTECTED MISCELLANEOUS TREES
6. ALL PUBLIC WORKS STORED MATERIALS, EQUIPMENT, WASTE
7. MISCELLANEOUS SITE DEBRIS

PROTECT KEY NOTES:

1. EXISITNG OAKS, SEE ARBORIST REPORT
2. EXISTING CHAIN LINK FENCING
3. EXISTING UTILITIES (NOT SHOWN)

SURVEY INFORMATION:
HENRY LAND SURVEYING, INC.
619 CRESTVIEW DRIVE
OJAI, CA 93023
(805) 216-6124
09/17/2024

0 15 30 32
SCALE: 1" = 30'-0"

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

LICENSED LANDSCAPE ARCHITECT
KATHLEEN ANN NOLAN # 6255
SIGNATURE
FEB 2027
RENEWAL DATE
07-25-2025
DATE
STATE OF CALIFORNIA

STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
340 Avenida de la Vereda
Ojai, CA 93023
tel: 805.646.8384
email: kn@studio-landscape.com
www.studio-landscape.com

DIGNITY MOVES

OJAI PERMANENT SUPPORTIVE HOUSING
PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

EXISTING CONDITIONS PLAN

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

JOB NUMBER:	25-01 DM
ORIGIN DATE	12.23.24
PLOT DATE	07.25.25
DRAWN BY:	KD
CHECKED BY:	KN
SHEET	2 OF 14

L-1

CALL BEFORE YOU DIG
1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

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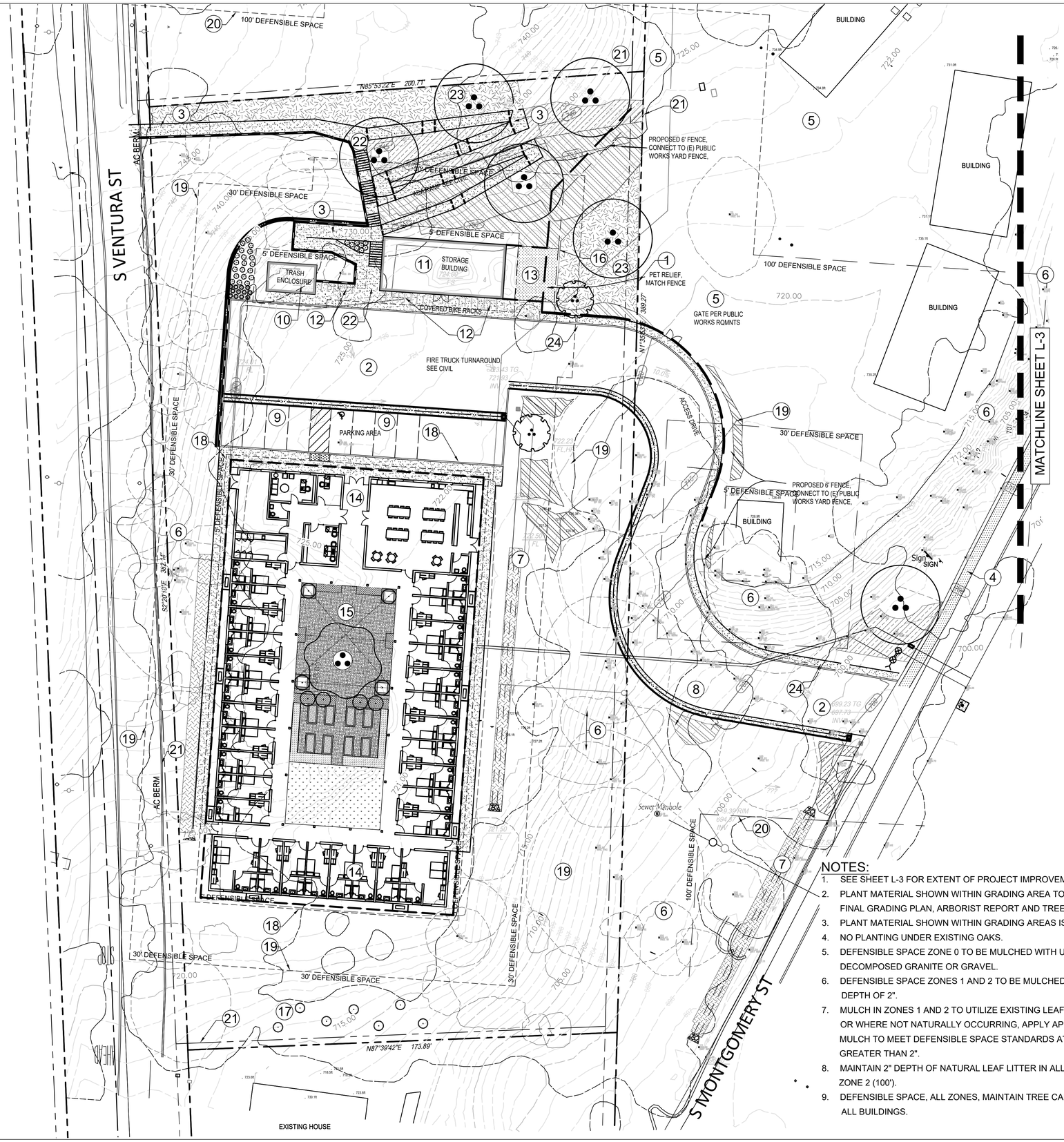

SITE PLAN KEY NOTES:

1. PROJECT PARCEL
2. PROJECT ASPHALT ENTRY DRIVE
3. ADA RAMP
4. PERMEABLE DECOMPOSED GRANITE SIDEWALK (SITE TO OJAI VALLEY TRAIL)
5. PUBLIC WORKS YARD
6. PROTECTED OAK WOODALND
7. BIOSWALE, INFILTRATION AREA
8. CHANNELED DRAINAGE
9. PARKING, INCLUDING ADA REQUIREMENTS
10. TRASH ENCLOSURE
11. STORAGE SHED
12. BICYCLE PARKING, COVERED AND UNCOVERED
13. PET RELIEF AREA
14. RESIDENTIAL BUILDING
15. INTERIOR COURTYARD, SEE SHEET L-4
16. NEW METAL FENCE, MATTE BRONZE FINISH, 6' HEIGHT, TIE INTO EXISTING FENCING
17. NATIVE SHRUB/TREES AND SCREENING, TYPICAL SYMBOL
18. DEFENSIBLE SPACE ZONE 0 PLANTING, TYPICAL SYMBOL
19. DEFENSIBLE SPACE ZONE 1 SHRUB AREA, TYPICAL SYMBOL
20. DEFENSIBLE SPACE ZONE 2 SHRUB AREA, TYPICAL SYMBOL
21. EXISTING FENCING
22. NEW CONCRETE PEDESTRIAN ACCESS STAIR CASE AND WALK
23. MULCH PER FIRE CODE SPECIFICATIONS OR NATURAL LEAF LITTER NOT TO EXCEED 2" DEPTH
24. NEW CONCRETE SIDEWALK

CONCEPT PLANT SCHEDULE

	COURTYARD SHADE TREE EVERGREEN, LOW WATER USE, NON-FRUITING, MODERATE SIZE AND GROWTH OLEA EUROPAEA 'SWAN HILL' / SWAN HILL FRUITLESS OLIVE	1
	COURTYARD DWARF CITRUS IN RAISED PLANTERS CITRUS RETICULATA 'SATSUMA' / SATSUMA TANGERINE CITRUS X LATIFOLIA 'DWARF BEARSS SEEDLESS' / DWARF BEARSS SEEDLESS LIME CITRUS X LIMON 'DWARF EUREKA' / DWARF EUREKA LEMON CITRUS X SINENSIS 'CARA CARA' / CARA CARA PINK NAVEL ORANGE	16
	ACCENT TREES CERCIS OCCIDENTALIS / WESTERN REDBUD	4
	MITIGATION TREES 2" DIAMETER EQUIVALENT OR GREATER, 60" BOX @ $6,000.00/TREE QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK	8
	BUILDING FACADE LOW SHRUB PER FIRE CODE, SPACE 4' APART MIMULUS X 'JELLY BEAN ORANGE' / JELLY BEAN ORANGE MONKEYFLOWER	28
	BUILDING FACADE GROUNDCOVER PER FIRE CODE, SPACE 1' APART DUDLEYA VIRENS HASSEI / CATALINA ISLAND LIVE-FOREVER	12
	HERB BED PLANT SELECTION PER RESIDENTS	512 SF
	RAISED BEDS VEGETABLES, FLOWERS, PERENNIALS PER RESIDENTS	336 SF
	COURTYARD LOW SHRUB BORDER MYRTUS COMPACTA / COMPACT MYRTLE	460 SF
	ZONE 1 BIOSWALE/RAINGARDEN ACHILLEA MILLEFOLIUM / COMMON YARROW ARTEMISIA DOUGLASIANA / MUGWORT ELYMUS TRITICOIDES / CREEPING WILD RYE JUNCUS TEXTILIS / BASKET RUSH STACHYS BULLATA / HEDGE NETTLE	3,025 SF
	ZONE 1 MAX. HEIGHT 12". GROUPINGS SHALL NOT EXCEED 200 SQ.FT. SPACING = 2'-0" BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH ZAUSCHNERIA CALIFORNICA / CALIFORNIA FUCHSIA	9,083 SF
	ZONE 2 4'-0" SPACE MAX. HEIGHT. GROUPINGS SHALL NOT EXCEED 50 SQ.FT. SPACING = 4'-0" SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE	4,066 SF
	LAWN FESTUCA X ORIGINAL MARATHON / ORIGINAL MARATHON	1,924 SF
	PET RELIEF MODERATE WATER USE LAWN FESTUCA X ORIGINAL MARATHON / ORIGINAL MARATHON	353 SF

NOTES:

1. SEE SHEET L-3 FOR EXTENT OF PROJECT IMPROVEMENTS.
2. PLANT MATERIAL SHOWN WITHIN GRADING AREA TO BE MODIFIED WITH FINAL GRADING PLAN, ARBORIST REPORT AND TREE PROTECTION PLAN.
3. PLANT MATERIAL SHOWN WITHIN GRADING AREAS IS DIAGRAMMATIC.
4. NO PLANTING UNDER EXISTING OAKS.
5. DEFENSIBLE SPACE ZONE 0 TO BE MULCHED WITH UNSTABILIZED DECOMPOSED GRANITE OR GRAVEL.
6. DEFENSIBLE SPACE ZONES 1 AND 2 TO BE MULCHED TO A MAXIMUM DEPTH OF 2".
7. MULCH IN ZONES 1 AND 2 TO UTILIZE EXISTING LEAF LITTER AS MULCH OR WHERE NOT NATURALLY OCCURRING, APPLY APPROVED BARK MULCH TO MEET DEFENSIBLE SPACE STANDARDS AT A DEPTH NO GREATER THAN 2".
8. MAINTAIN 2" DEPTH OF NATURAL LEAF LITTER IN ALL AREAS BEYOND ZONE 2 (100').
9. DEFENSIBLE SPACE, ALL ZONES, MAINTAIN TREE CANOPIES 10' FROM ALL BUILDINGS.

0 10 20 40 60

SCALE: 1" = 20'-0"

CALL BEFORE YOU DIG 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

LICENSED LANDSCAPE ARCHITECT
KATHLEEN ANN NOLAN # 6225
SIGNATURE
FEB 2027
RENEWAL DATE
07-25-2025
DATE
STATE OF CALIFORNIA

STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
340 Avenida de la Vereda
Ojai, CA 93023
tel: 805.646.8384
email: kn@studio-landscape.com
www.studio-landscape.com

DIGNITY MOVES

OJAI PERMANENT SUPPORTIVE HOUSING
PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

LANDSCAPE SITE PLAN

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

JOB NUMBER:	25-01 DM
ORIGIN DATE	12.23.24
PLOT DATE	07.25.25
DRAWN BY:	KD
CHECKED BY:	KN
SHEET	3 OF 14

L-2

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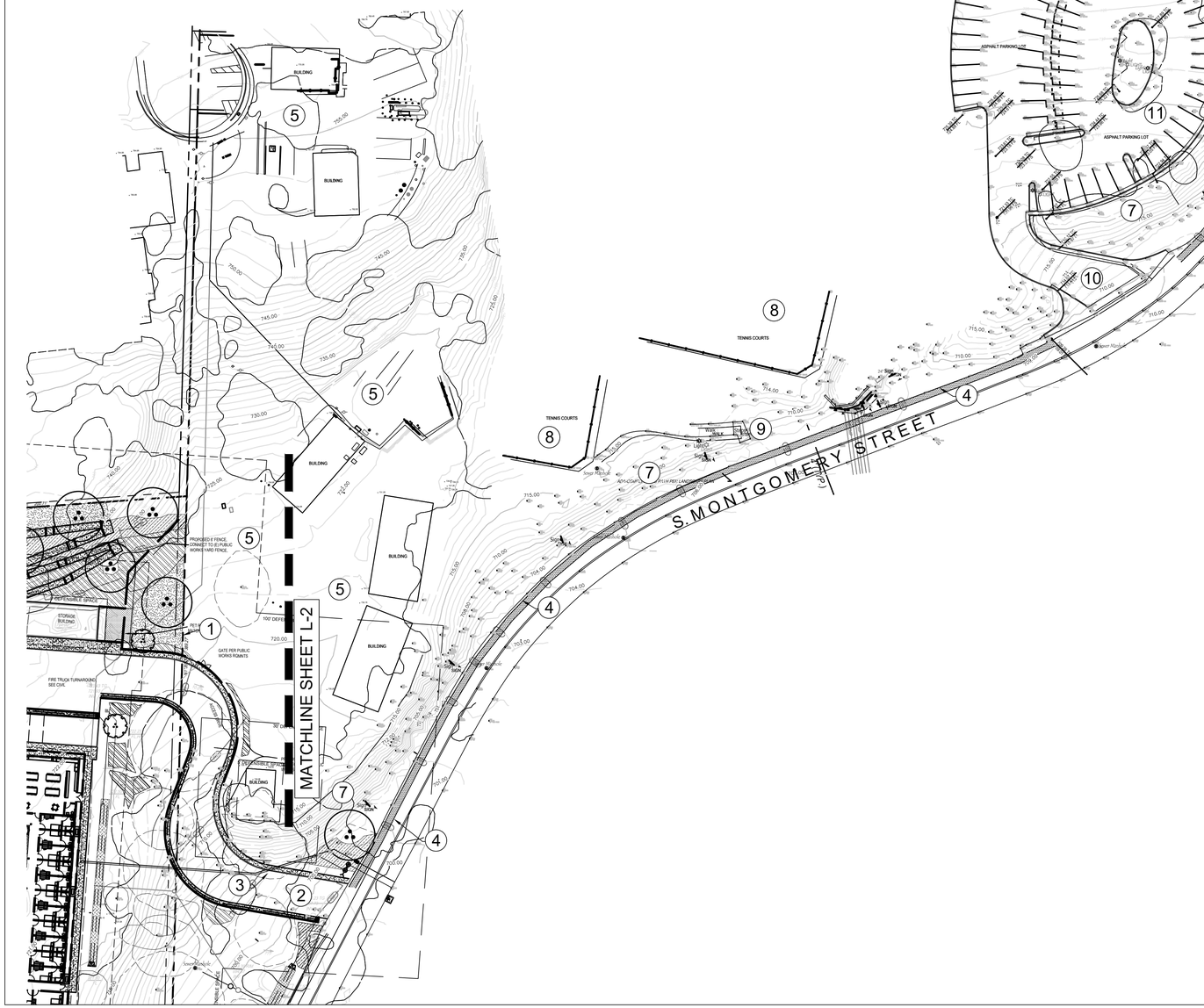

SITE PLAN KEY NOTES:

① PROJECT PARCEL
② PROJECT ENTRY DRIVE
③ CONCRETE SIDEWALK
④ PERMEABLE DECOMPOSED GRANITE SIDEWALK (SITE TO OJAI VALLEY TRAIL)
⑤ PUBLIC WORKS YARD
⑥ OJAI VALLEY TRAIL
⑦ PROTECTED OAK WOODLAND
⑧ LIBBEY PARK LOWER TENNIS COURTS
⑨ LIBBEY PARK ENTRY STEPS TO LOWER TENNIS COURTS
⑩ ENTRY DRIVE TO LOWER LIBBEY PARK PARKING
⑪ LOWER LIBBEY PARK PARKING

NOTES:

1. SEE SHEET THIS SHEET I-3 ,FOR EXTENT OF PROJECT IMPROVEMENTS.
2. PLANT MATERIAL SHOWN WITHIN GRADING AREA TO BE MODIFIED WITH FINAL GRADING PLAN, ARBORIST REPORT AND TREE PROTECTION PLAN.
3. PLANT MATERIAL SHOWN WITHIN GRADING AREAS IS DIAGRAMMATIC.
4. NO PLANTING UNDER EXISTING OAKS.
5. DEFENSIBLE SPACE ZONE 0 TO BE MULCHED WITH UNSTABILIZED DECOMPOSED GRANITE OR GRAVEL.
6. DEFENSIBLE SPACE ZONES 1 AND 2 TO BE MULCHED TO A MAXIMUM DEPTH OF 2".
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8. MAINTAIN 2" DEPTH OF NATURAL LEAF LITTER IN ALL AREAS BEYOND ZONE 2 (100').
9. DEFENSIBLE SPACE, ALL ZONES, MAINTAIN TREE CANOPIES 10' FROM ALL BUILDINGS.

0 20 40 80 120
SCALE: 1" = 40'-0"

CALL BEFORE YOU DIG
1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

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LICENSED LANDSCAPE ARCHITECT
KATHLEEN ANN NOLAN #5728
SIGNATURE
FEB 2027
RENEWAL DATE
07-25-2025
DATE
STATE OF CALIFORNIA

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PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

LANDSCAPE
SITE PLAN

REVISIONS

NAME	DATE

PHASE
DESIGN
DEVELOPMENT
NOT FOR CONSTRUCTION

JOB NUMBER: 25-01 DM
ORIGIN DATE 12.23.24
PLOT DATE 07.25.25
DRAWN BY: KD
CHECKED BY: KN
SHEET 4 OF 14
L-3

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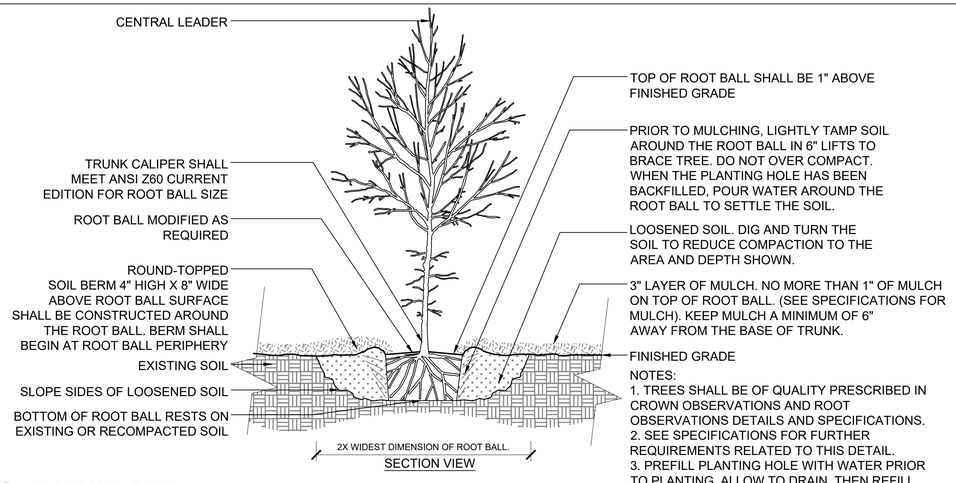
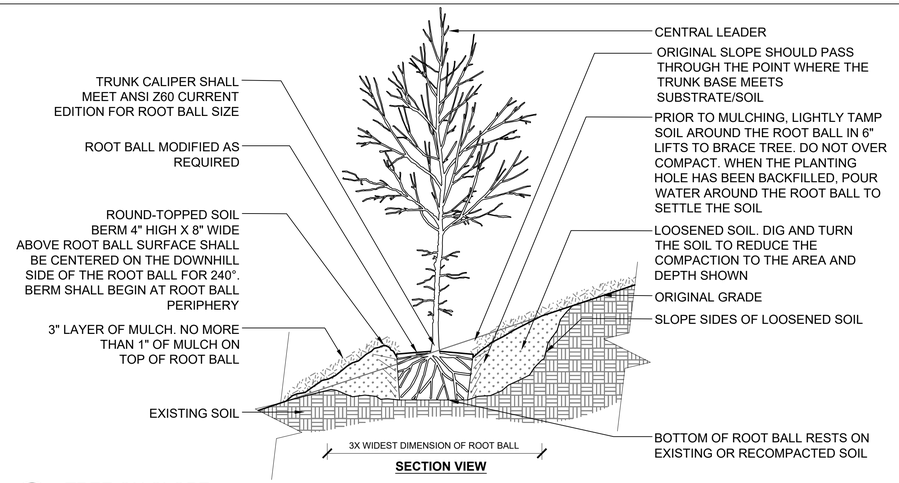


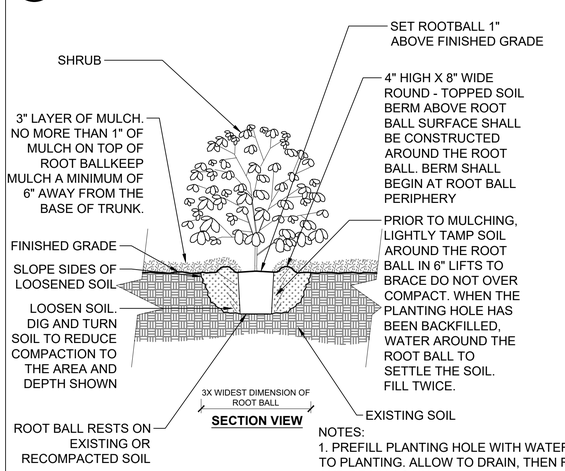
1 TREE W/ BERM

1/2" = 1'-0" P-CO-POR-01



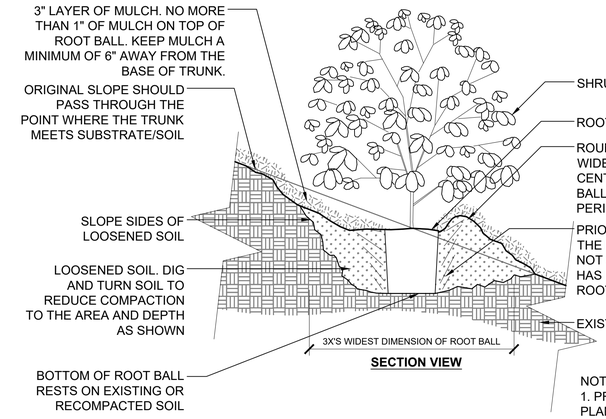
2 TREE ON SLOPE

1/2" = 1'-0" P-CO-OVI3-IRRI-29



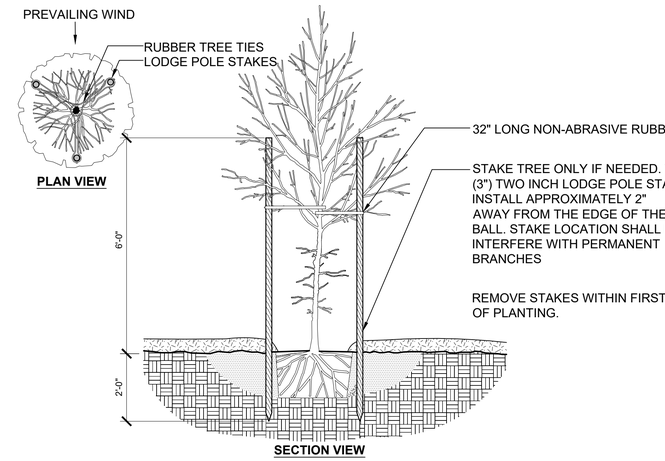
3 SHRUB

1/2" = 1'-0" P-CO-POR-04



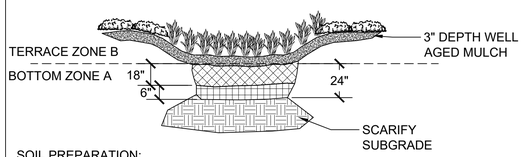
4 SHRUB ON SLOPE 5% (20:1) TO 50% (2:1)

3/4" = 1'-0" P-CO-POR-03



5 TREE STAKING - LODGE POLES (3)

1/2" = 1'-0" P-CO-POR-02



SOIL PREPARATION:
1. 6" DEPTH BOTTOM LIFT: PREPARED SANDY LOAM SOIL. USE FROM STOCKPILED TOPSOIL FROM SITE.
2. 18" BOTTOM LIFT: ~~SEE SPECIFICATION ON SHEET L-4.0.~~
3. THOROUGHLY MIX THE ABOVE AND SEPARATELY INSTALL IN 6" LIFTS.
4. MULCH TO BE WELL AGED AND SHREDDED. MULCH TO HAVE SET A MIN. OF 12 MONTHS.
5. PROVIDE MULCH SAMPLE TO LANDSCAPE ARCHITECT FOR VERIFICATION.
6. SEE SHEET L-7 FOR DETAIL OF SUBSURFACE IRRIGATION.

NOTES:
1. SEE CIVIL PLANS FOR LOCATION AND DETAILS.
2. EXCAVATE TO DEPTH PER CIVIL.
3. MINIMIZE COMPACTION IN THESE AREAS.

6 RAINGARDEN

1/4" = 1'-0" P-CO-OVI3-IRRI-24

LICENSED LANDSCAPE ARCHITECT
KATHLEEN ANN NOLAN # 6255
SIGNATURE
FEB 2027
RENEWAL DATE
07-25-2025
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STATE OF CALIFORNIA

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PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

PLANTING DETAILS

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

JOB NUMBER:	25-01 DM
ORIGIN DATE	12.23.24
PLOT DATE	07.25.25
DRAWN BY:	KD
CHECKED BY:	KN
SHEET	5 OF 14

L-4

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

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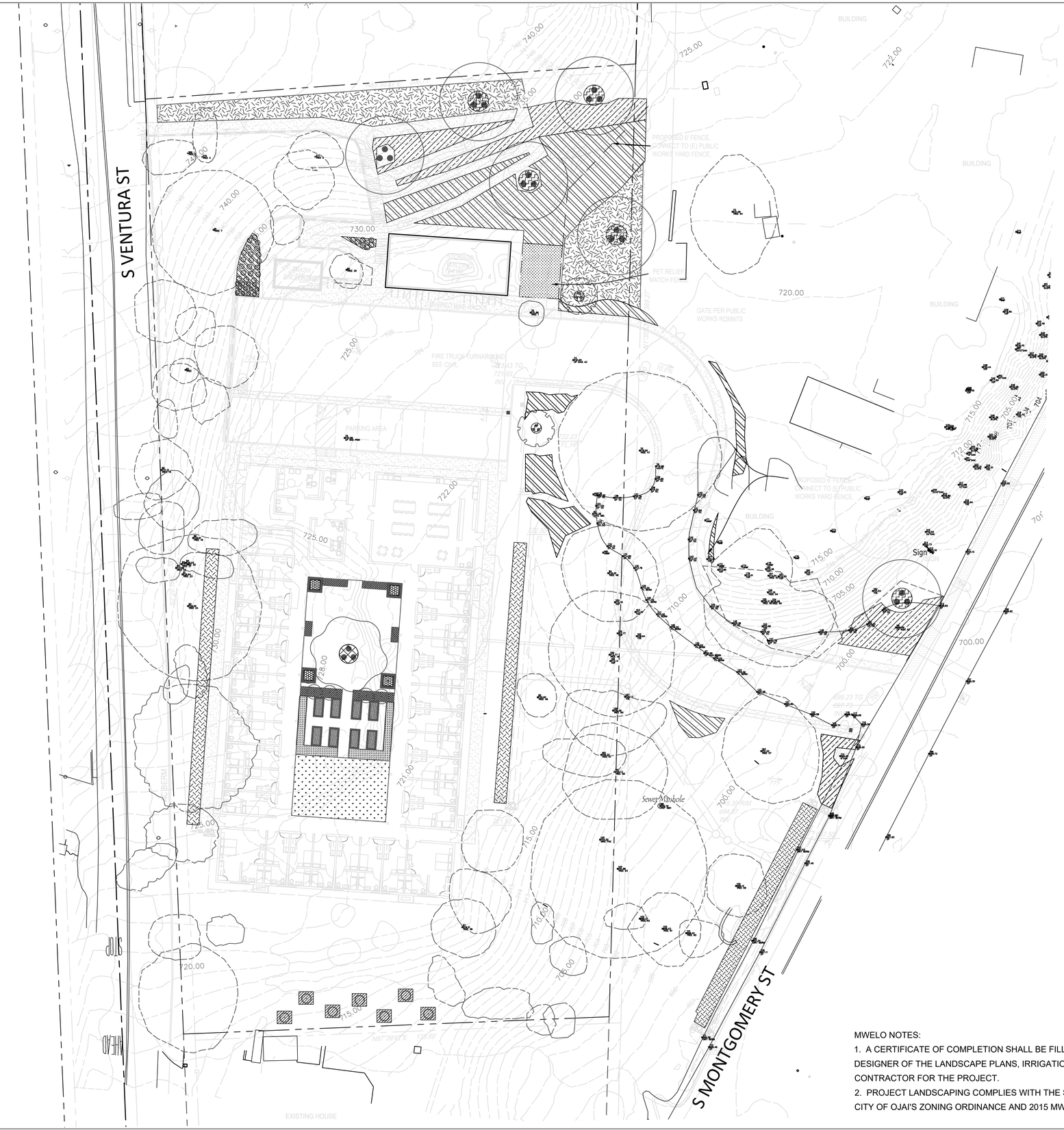

PRELIMINARY IRRIGATION ZONE TABLE

ZONE 1 - LOW SHRUB BORDER NETAFIM INLINE DRIP IRRIGATION	512 SF
ZONE 2 - RAISED VEGETABLE BEDS RAINBIRD XERI-POP MICROSPRAY	336 SF
ZONE 3 - COURTYARD HERB & PERENNIAL BORDER NETAFIM INLINE DRIP IRRIGATION	460 SF
ZONE 4 - BIOSWALE/RAINGARDEN NETAFIM INLINE DRIP IRRIGAITON	3,025 SF
ZONE 5 - MAX 12" HEIGHT PLANTING NETAFIM SELF-PIERCING EMITTERS	9,321SF
ZONE 6 - MAX 4'-0" HEIGHT PLANTING NETAFIM SELF-PIERCING EMITTERS	4,066 SF
ZONE 7 - COURTYARD LAWN HUNTER MP ROTATOR	1,924 SF
ZONE 8 - PET LAWN HUNTER MP ROTATOR	353 SF
ZONE 9 - NATIVE SHRUB SCREENING NETAFIM SELF-PIERCING EMITTERS	217 SF
ZONE 10 - COURTYARD CITRUS TREES HUNTER ROOT ZONE BUBBLER 10"	64 SF
ZONE 11 - COURTYARD OLIVE TREE HUNTER ROOT ZONE BUBBLER 36"	47 SF
ZONE 12 - LANDSCAPE TREES HUNTER ROOT ZONE BUBBLER 10" & 36"	302 SF

NOTES:

1. PRELIMINARY IRRIGATION ZONE PLAN IS DIAGRAMMATIC AND SUBJECT TO APPROVAL OF FINAL GRADING PLAN, ARBORIST REPORT AND TREE PROTECTION PLAN.

MWELO NOTES:

1. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
2. PROJECT LANDSCAPING COMPLIES WITH THE STANDARDS FOUND IN ARTICLE 12 OF THE CITY OF OJAI'S ZONING ORDINANCE AND 2015 MWELO.

SCALE: 1" = 20'-0"

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

LICENSED LANDSCAPE ARCHITECT
KATHLEEN ANN NOLAN # 6255
SIGNATURE
FEB 2027
RENEWAL DATE
01-25-2025
DATE
STATE OF CALIFORNIA

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IRRIGATION CONCEPT PLAN

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

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DRAWN BY:	KD
CHECKED BY:	KN
SHEET	6 OF 14

L-5

CALL BEFORE YOU DIG
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TWO WORKING DAYS BEFORE YOU DIG

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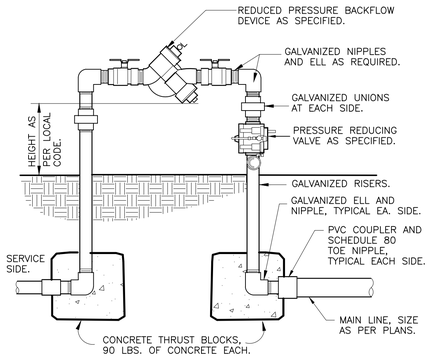
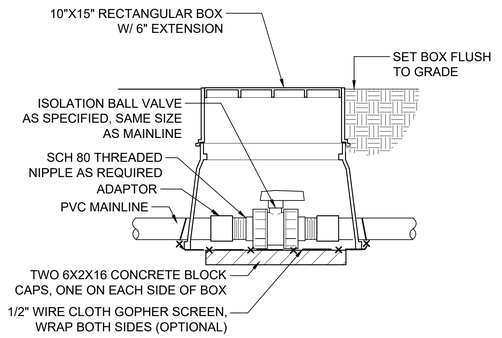


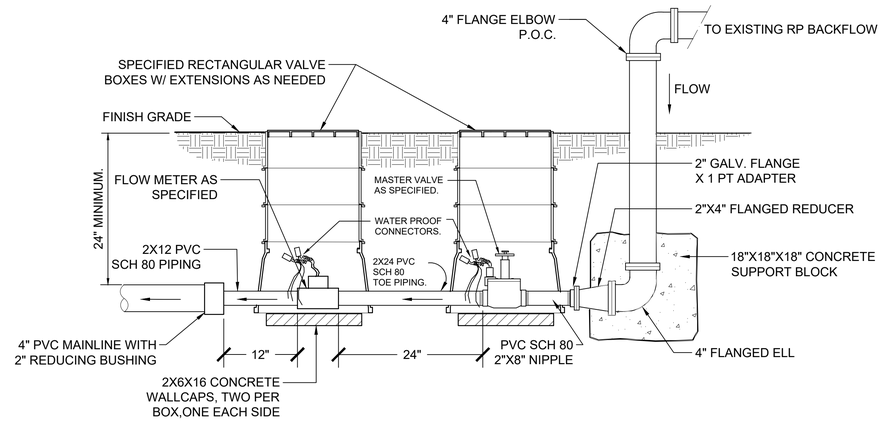
1 REDUCED PRESSURE BACKFLOW

1" = 1'-0" P-CO-DIG-05



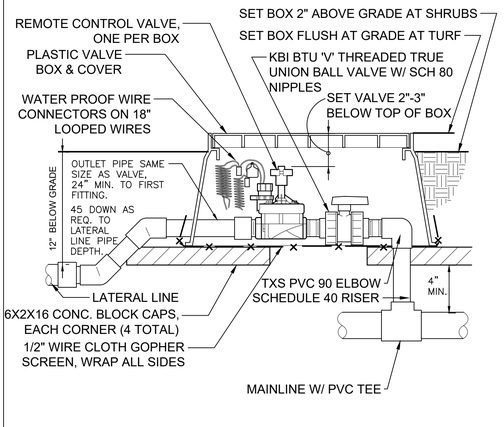
2 TRUE UNION BALL ISOLATION VALVE

1 1/2" = 1'-0" P-RE-NOL-09



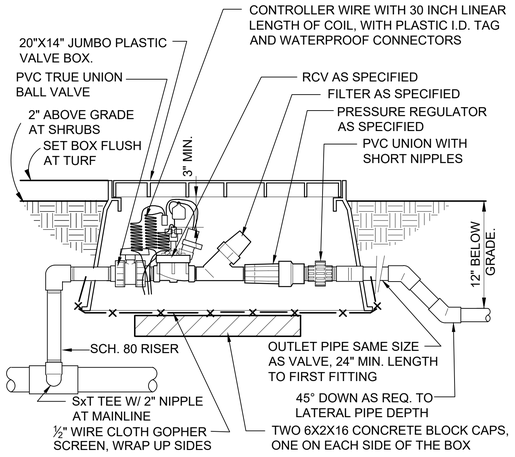
3 MASTER CONTROL VALVE AND FLOW SENSOR ASSEMBLY

1" = 1'-0" P-RE-NOL-14



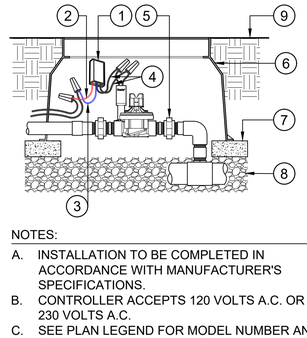
4 RCV WITH UNION S.O.V.

1 1/2" = 1'-0" P-RE-NOL-08



5 1" DRIP VALVE/FILTER/REGULATOR

1 1/2" = 1'-0" P-RE-NOL-07

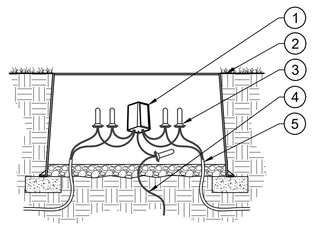


NOTES:

A. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
B. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C.
C. SEE PLAN LEGEND FOR MODEL NUMBER AND SPECIFICATIONS.
D. ALWAYS REFER TO PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.

6 EZ-1 DECODER AT CONTROL VALVE

1 1/2" = 1'-0" P-RE-NOL-19

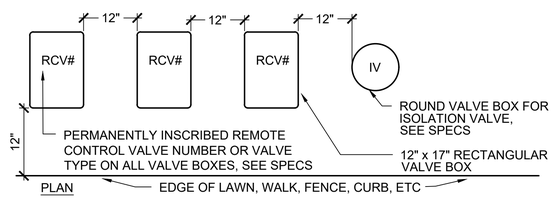


NOTES:

A. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
B. EARTH GROUND TO BE A MINIMUM OF 8' AWAY FROM DUAL-S AND AT A RIGHT ANGLE TO THE TWO WIRE PATH.
C. INSTALL AT END OF TWO WIRE PATH.

7 DUAL-S SURGE PROTECTION MODULE

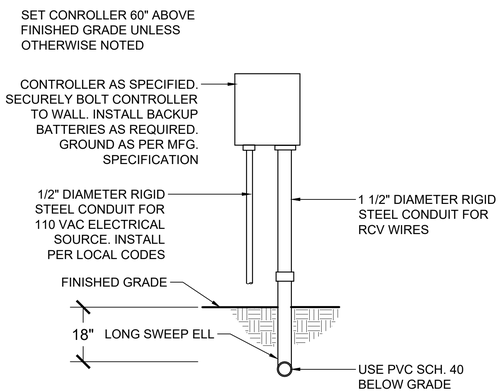
1 1/2" = 1'-0" P-RE-NOL-20



1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SEE SPECS FOR VALVE BOX LID FINISH GRADE REQUIREMENTS.
3. SET RCV AND VALVE BOX ASSEMBLY IN PLANTING AREA WHERE POSSIBLE.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF SOD, WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE & DEFORMATION OF VALVE BOX SIDES.
6. INSTALL VALVE BOX EXTENSIONS AS REQUIRED PER MANUFACTURER.

8 VALVE BOX ASSEMBLY

3/4" = 1'-0"

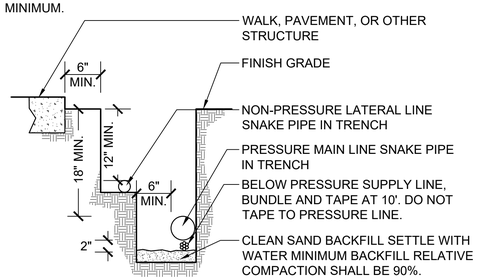


9 WALL MOUNT CONTROLLER

1" = 1'-0" P-RE-NOL-17

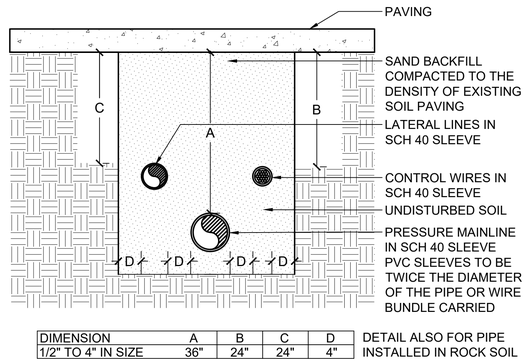
NOTES:

1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES
2. BUNDLE & TAPE CONTROL WIRES AT 10' INTERVALS
3. TIE A LOOSE 20" LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30°. UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.
4. UNDER PAVED AREAS, ALL PRESSURE LINES & WIRES SHALL BE SLEEVED W/ SCH. 80 P.V.C. PIPE & SHALL BE 24" IN DEPTH (MIN.)
5. INSTALL ALL CONTROL WIRES ON UNDERSIDE OF MAINLINE PIPE
6. PIPE DEPTH FOR 2-1/2" AND LARGER SHALL BE 24" MINIMUM.
7. PIPE DEPTH FOR 2" AND SMALLER SHALL BE 18" MINIMUM.
8. PIPE DEPTH FOR ALL NON-PRESSURE LATERAL LINES SHALL BE 12" MINIMUM.



10 TRENCH DETAIL

1" = 1'-0" P-RE-NOL-03



DIMENSION	A	B	C	D
1/2" TO 4" IN SIZE	36"	24"	24"	4"

DETAIL ALSO FOR PIPE INSTALLED IN ROCK SOIL

11 DUAL WIRE DETAIL

3/4" = 1'-0" P-RE-NOL-02

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APN # 023-0-120-020

IRRIGATION DETAILS

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
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JOB NUMBER:	25-01 DM
ORIGIN DATE	12.23.24
PLOT DATE	07.25.25
DRAWN BY:	KD
CHECKED BY:	KN
SHEET	7 OF 14

L-6

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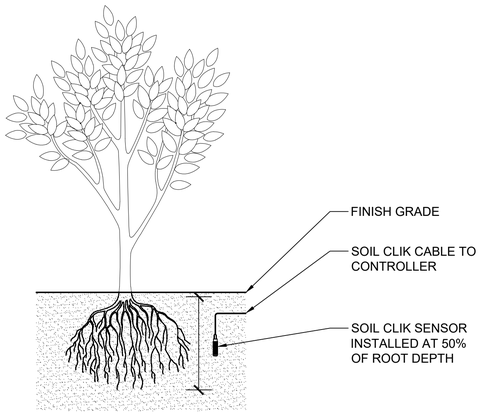
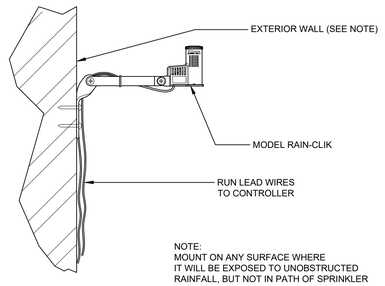


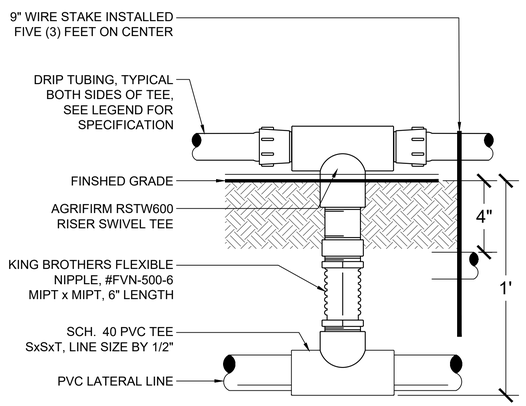
12 SOIL CLIK SENSOR

1" = 1'-0" P-RE-NOL-18



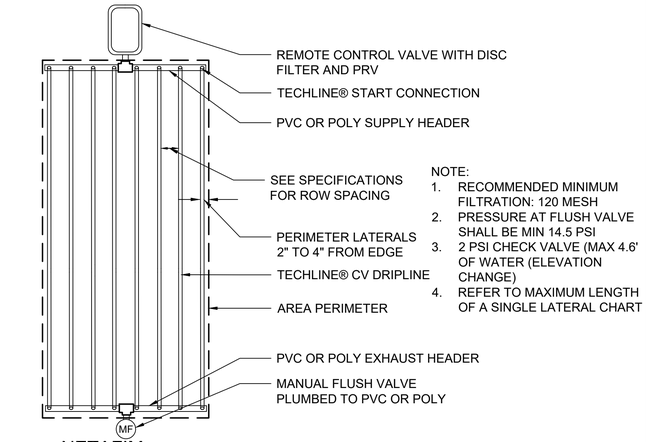
13 RAIN-CLIK

3" = 1'-0" P-CO-DIG-16



14 ABOVE GRADE DRIP LINE TRANSITION & CONNECTION

3" = 1'-0" P-CO-OVI3-IRRI-14



15 NETAFIM TECHLINE CV END FEED LAYOUT (SURFACE & SUBSURFACE)

NOT TO SCALE 15

NOTES:
INSTALL TUBING AS INDICATED ON THESE DRAWINGS AND SECURE TO GRADE USING TIE-DOWN STAKES AT 5 FEET ON CENTER SPACING.

16 DRIP LINE INSTALLATION

3" = 1'-0" P-CO-OVI3-IRRI-15

NOTES:
1. INSTALL FIRST Techline® EZ LOOP 18-INCHES FROM CENTER OF TREE TRUNK. INSTALL EACH ADDITIONAL LOOP PER NETAFIM INSTALLATION GUIDELINES.
2. INSTALL Techline® EZ IN ACCORDANCE WITH NETAFIM INSTALLATION GUIDELINES.
3. FOR ON SURFACE APPLICATION.

17 TECHLINE® EZ TWO TREE RING LAYOUT

NOT TO SCALE P-CO-OVI3-IRRI-17

NOTES:
1. SEE Techline® RW TREE RING DOUBLE OR TRIPLE FOR DETAIL OF EACH SET OF RINGS.
2. FOR TOTAL SYSTEM FLOW GREATER THAN 5 GPM USE PVC TO CONNECT TREE RINGS, DOUBLE OR TRIPLE, AND SIZE PVC APPROPRIATELY.
3. FOR ON SURFACE APPLICATION.

18 TECHLINE® EZ MULTIPLE TREE RING LAYOUT

NOT TO SCALE P-CO-OVI3-IRRI-18

19 SUBSURFACE DRIP PIPE TRANSITION

3" = 1'-0" P-CO-OVI3-IRRI-21

NOTE:
LOCATE INDICATOR STAKE AT THE FARTHEST AND/OR HIGHEST POINT ON THE ZONE.

20 TECHLINE® OPERATION PRESSURE INDICATOR STAKE

NOT TO SCALE P-CO-OVI3-IRRI-32

21 HUNTER PROS-4-PRS40-CV

3" = 1'-0" P-CO-OVI3-IRRI-13

22 RAISED BED IRRIGATION

NOT TO SCALE P-CO-OVI1-IRRI-41

NOTE: INSTALL HUNTER FILTER FABRIC SLEEVE-RZWS-SLEEVE

23 HUNTER ROOT ZONE WATERING SYSTEM

3" = 1'-0" P-RE-LAN-04

STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
340 Avenida de la Vereda
Ojai, CA 93023
tel: 805.646.8384
email: kn@studio-landscape.com
www.studio-landscape.com

LICENSED LANDSCAPE ARCHITECT
KATHLEEN ANN NOLAN # 6225
SIGNATURE
FEB 2027 RENEWAL DATE
07-25-2025 DATE
STATE OF CALIFORNIA

DIGNITY MOVES

OJAI PERMANENT SUPPORTIVE HOUSING
PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

IRRIGATION DETAILS

REVISIONS	
NAME	DATE

PHASE
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JOB NUMBER:	25-01 DM
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DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

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LANDSCAPE PLANT IMAGERY

TREES

QUERCUS AGRIFOLIA / COAST LIVE OAK

CERCIS OCCIDENTALIS / WESTERN REDBUD

COURTYARD PLANTING

OLEA EUROPAEA 'SWAN HILL' / SWAN HILL FRUITLESS OLIVE

ASSORTED CITRUS

MYRTUS COMPACTA / COMPACT MYRTLE

ZONE 0

DIPLACUS AURANTIACUS 'JELLY BEAN ORANGE' / JELLY BEAN ORANGE MONKEYFLOWER

DUDLEYA VIRENS HASSEI / CATALINA ISLAND LIVE-FOREVER

ZONE 1

BACCHARIS PILULARIS 'PIGEON POINT'/ PIGEON POINT COYOTE BRUSH

ZAUSCHNERIA CALIFORNICA/ CALIFORNIA FUCHSIA

ZONE 2

SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE

BIOSWALE/RAINGARDEN

ACHILLEA MILLEFOLIUM / COMMON YARROW

ARTEMISIA DOUGLASIANA / MUGWORT

ELYMUS TRITICOIDES / CREEPING WILD RYE

JUNCUS TEXTILIS / BASKET RUSH

STACHYS BULLATA / HEDGE NETTLE

SCREENING SHRUBS

FRANGULA CALIFORNICA / COFFEEBERRY

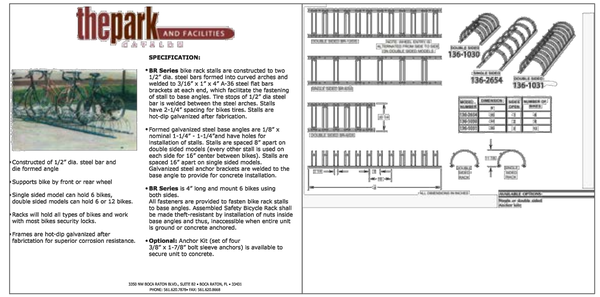
HETEROMELES ARBUTIFOLIA / TOYON

PRUNUS ILICIFOLIA / HOLLYLEAF CHERRY

SAMBUCUS MEXICANA / ELDERBERRY

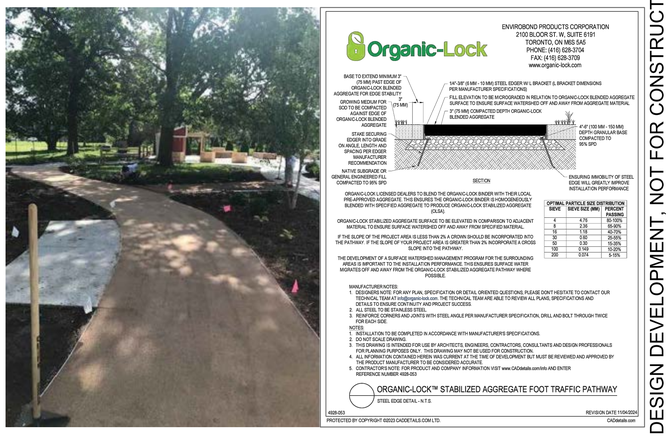
LANDSCAPE MATERIALS & IMAGERY

BICYCLE RACK



6'-0" IRON FENCE - MATTE BRONZE FINISH

ORGANIC-LOCK PERMEABLE ADA COMPLIANT DECOMPOSED GRANITE



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LANDSCAPE MATERIALS & IMAGERY

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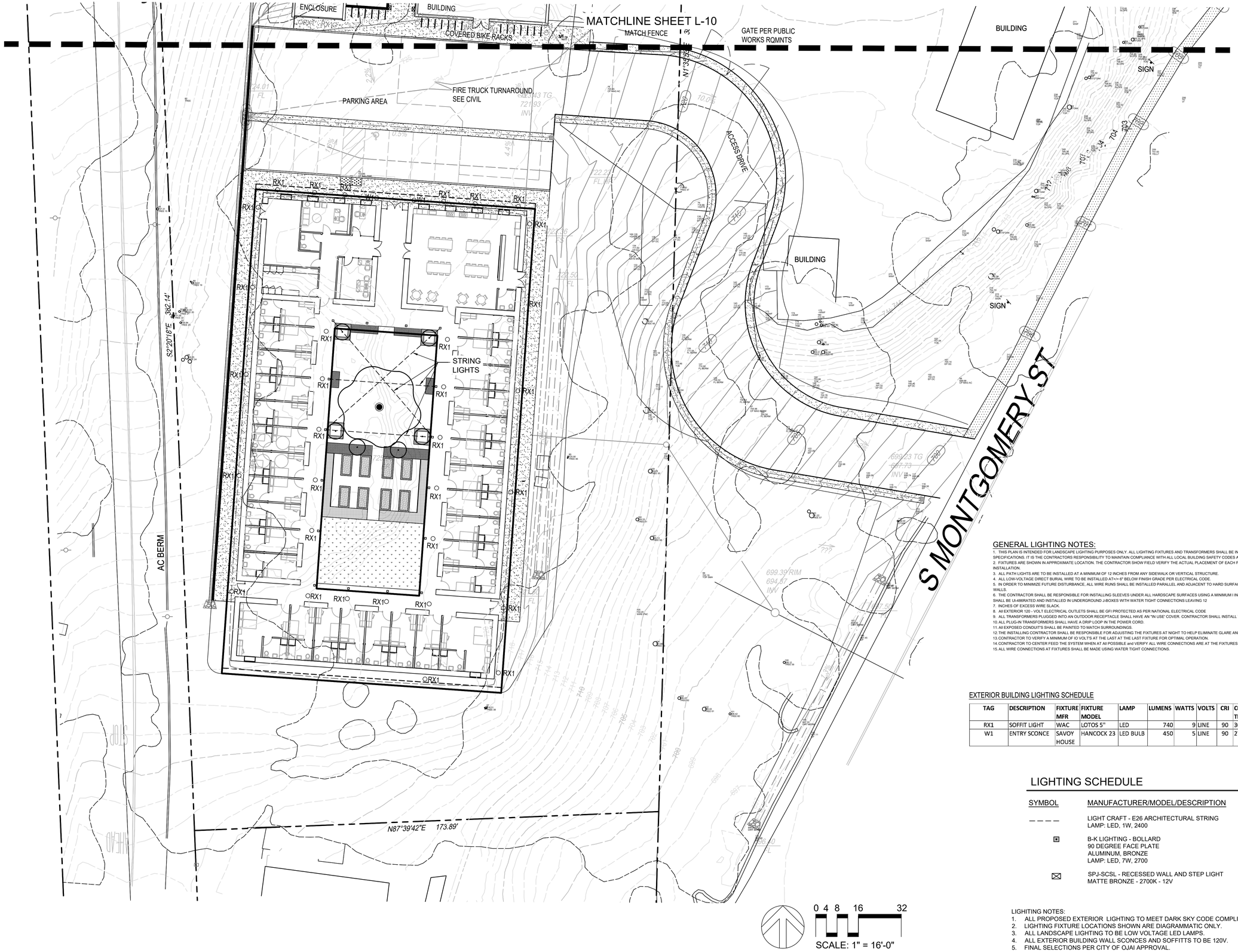

GENERAL LIGHTING NOTES:

1. THIS PLAN IS INTENDED FOR LANDSCAPE LIGHTING PURPOSES ONLY. ALL LIGHTING FIXTURES AND TRANSFORMERS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN COMPLIANCE WITH ALL LOCAL BUILDING SAFETY CODES AND ORDINANCES.
2. FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHOW FIELD VERIFY THE ACTUAL PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION.
3. ALL PATH LIGHTS ARE TO BE INSTALLED AT A MINIMUM OF 12 INCHES FROM ANY SIDEWALK OR VERTICAL STRUCTURE.
4. ALL LOW-VOLTAGE DIRECT BURIAL WIRE TO BE INSTALLED AT>/= 6" BELOW FINISH GRADE PER ELECTRICAL CODE.
5. IN ORDER TO MINIMIZE FUTURE DISTURBANCE, ALL WIRE RUNS SHALL BE INSTALLED PARALLEL AND ADJACENT TO HARD SURFACES SUCH AS SIDEWALKS DRIVEWAYS AND WALLS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL HARDSCAPE SURFACES USING A MINIMUM I INCH PVC PIPE. ALL UNDERGROUND SPLICES SHALL BE UI-666RATED AND INSTALLED IN UNDERGROUND J-BOXES WITH WATER TIGHT CONNECTIONS LEAVING 12
7. INCHES OF EXCESS WIRE SLACK.
8. AI EXTERIOR 120 - VOLT ELECTRICAL OUTLETS SHALL BE GFI PROTECTED AS PER NATIONAL ELECTRICAL CODE
9. ALL TRANSFORMERS PLUGGED INTO AN OUTDOOR RECEPTACLE SHALL HAVE AN "IN USE' COVER. CONTRACTOR SHALL INSTALL TAYMAC TYPE COVERS AT ALL OUTLETS.
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14. CONTRACTOR TO CENTER FEED THE SYSTEM WHEN AT AI POSSIBLE *and* VERIFY ALL WIRE CONNECTIONS ARE AT THE FIXTURES.
15. ALL WIRE CONNECTIONS AT FIXTURES SHALL BE MADE USING WATER TIGHT CONNECTIONS.

EXTERIOR BUILDING LIGHTING SCHEDULE

TAG	DESCRIPTION	FIXTURE MFR	FIXTURE MODEL	LAMP	LUMENS	WATTS	VOLTS	CRI	COLOR TEMP	FINISH	MOUNTING INFO
RX1	SOFFIT LIGHT	WAC	LOTOS 5"	LED	740	9	LINE	90	3000K	BLACK	18" FROM WALL
W1	ENTRY SCONCE	SAVOY HOUSE	HANCOCK 23	LED BULB	450	5	LINE	90	2700K	BRONZE	90" TO TOP OF FIXTURE

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
– – – –	LIGHT CRAFT - E26 ARCHITECTURAL STRING LAMP: LED, 1W, 2400	200LF	
⊡	B-K LIGHTING - BOLLARD 90 DEGREE FACE PLATE ALUMINUM, BRONZE LAMP: LED, 7W, 2700	40	
⊠	SPJ-SCSL - RECESSED WALL AND STEP LIGHT MATTE BRONZE - 2700K - 12V	48	

LIGHITING NOTES:
1. ALL PROPOSED EXTERIOR LIGHTING TO MEET DARK SKY CODE COMPLIANCE.
2. LIGHTING FIXTURE LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY.
3. ALL LANDSCAPE LIGHTING TO BE LOW VOLTAGE LED LAMPS.
4. ALL EXTERIOR BUILDING WALL SCONCES AND SOFFITTS TO BE 120V.
5. FINAL SELECTIONS PER CITY OF OJAI APPROVAL.

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

LICENSED LANDSCAPE ARCHITECT
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APN # 023-0-120-020

LANDSCAPE LIGHTING PLAN

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SHEET	10 OF 14

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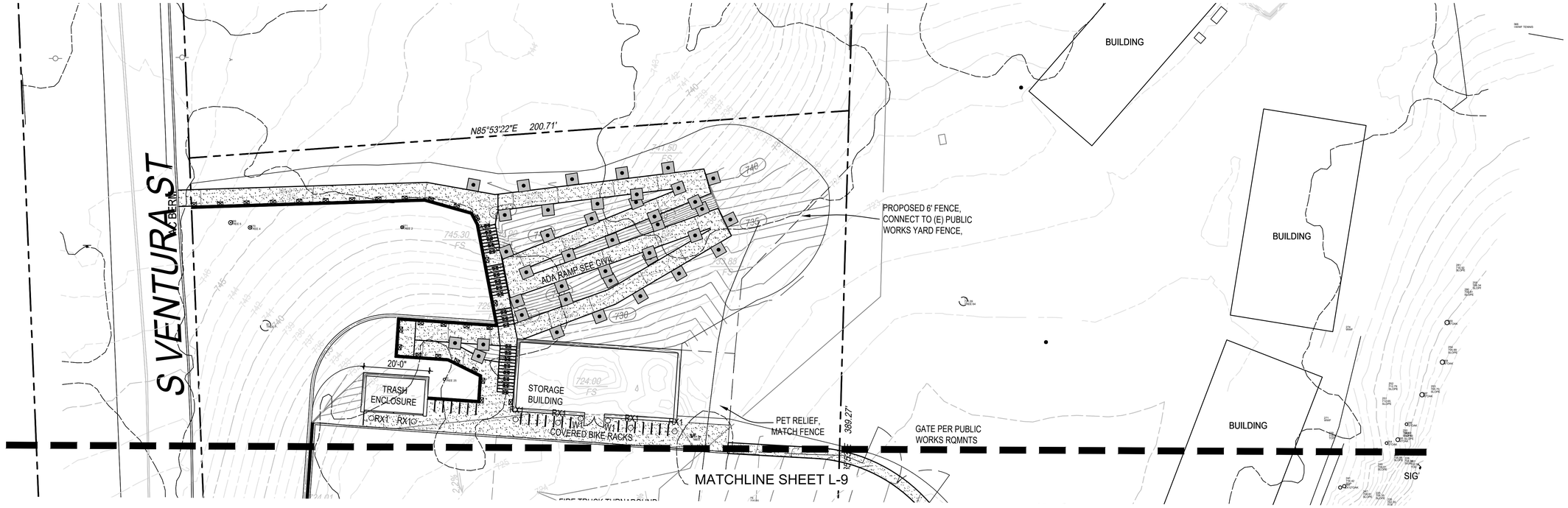

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W1	ENTRY SCONCE	SAVOY HOUSE	HANCOCK 23	LED BULB	450	5	LINE	90	2700K	BRONZE	90" TO TOP OF FIXTURE

0 4 8 16 32

SCALE: 1" = 16'-0"

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
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⊡	B-K LIGHTING - BOLLARD 90 DEGREE FACE PLATE ALUMINUM, BRONZE LAMP: LED, 7W, 2700	40	
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LIGHTING NOTES:
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4. EXTERIOR BUILDING WALL SCONCES AND SOFFITS TO BE 120V.
5. FINAL SELECTIONS PER CITY OF OJAI APPROVAL.

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

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LANDSCAPE LIGHTING PLAN

REVISIONS

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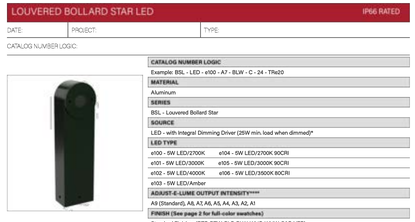
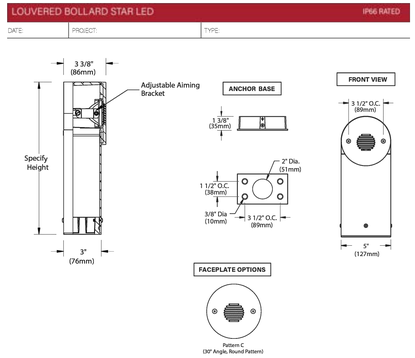
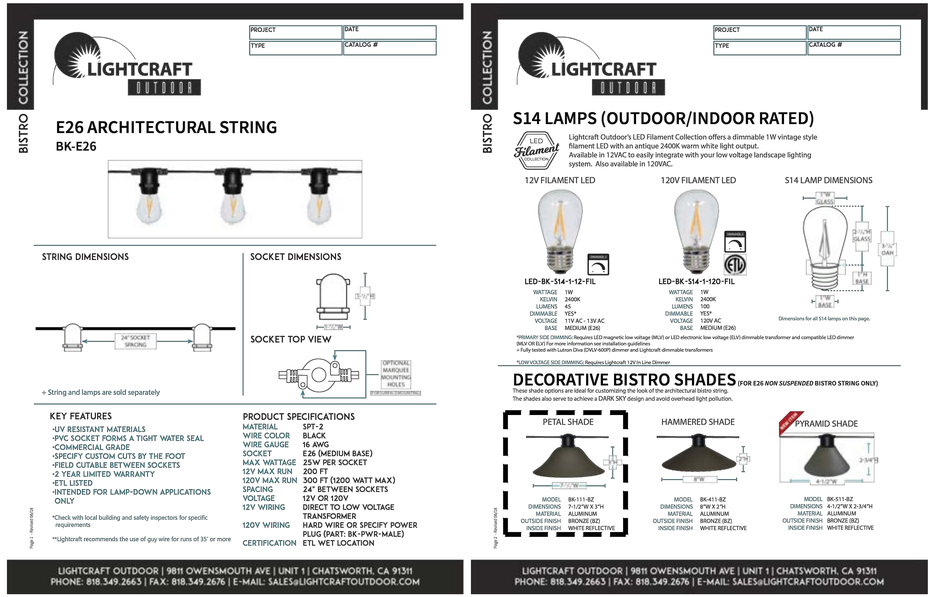
LANDSCAPE LIGHTING FIXTURES:



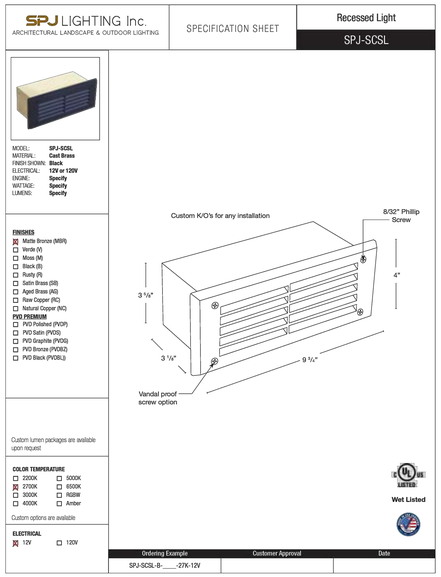


B-K LIGHTING - BOLLARD - BRONZE WINKLE - 2700K - 12V

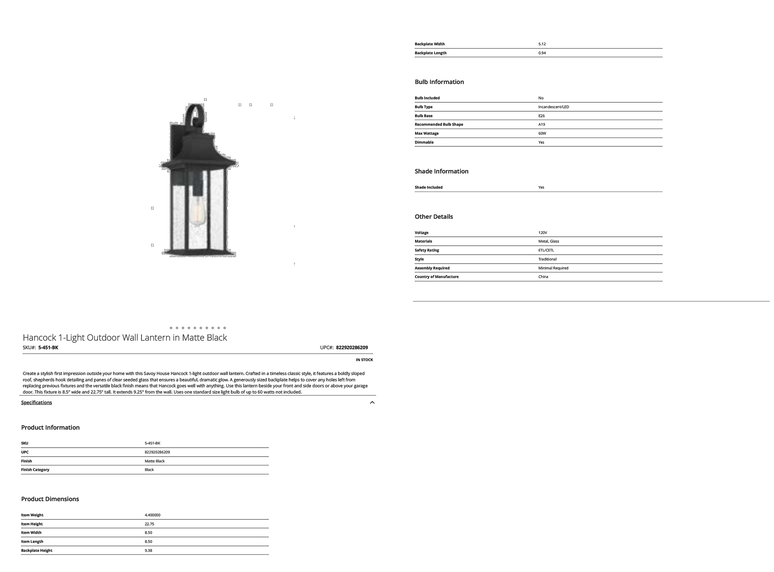


LIGHTCRAFT - ARCHITECTURAL STRING LIGHTS - PETAL SHADE - BRONZE FINISH - 2400K -120V

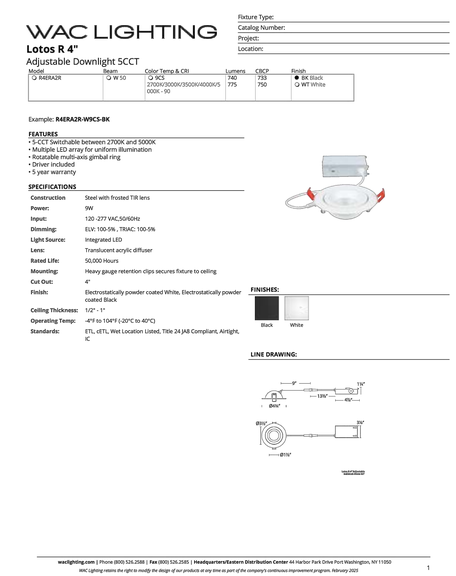
EXTERIOR BUILDING LIGHTING FIXTURES:

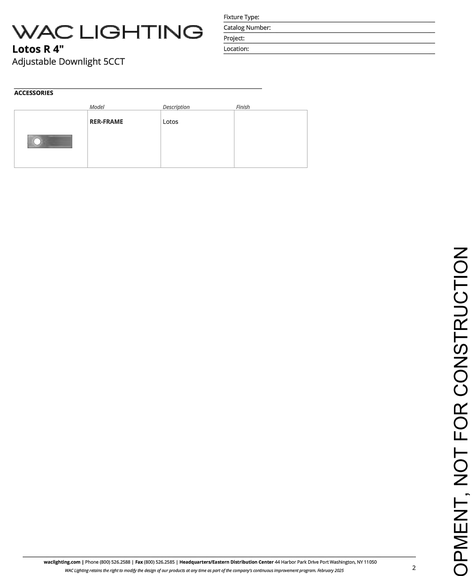


SPJ - RECESSED WALL AND STEP LIGHT - MATTE BRONZE - 2700K - 12V



ENTRY SCONCE





SOFFITT LIGHTS

LIGHTING NOTES:

1. LIGHTING FIXTURES MEET DARK SKIES FRIENDLY REQUIREMENTS.
2. ALL LANDSCAPE LIGHTING TO BE LOW VOLTAGE LED LAMPS.
3. ALL EXTERIOR BUILDING WALL SCONCES AND SOFFITTS TO BE 120V.

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LIGHTING SPEC. SHEETS

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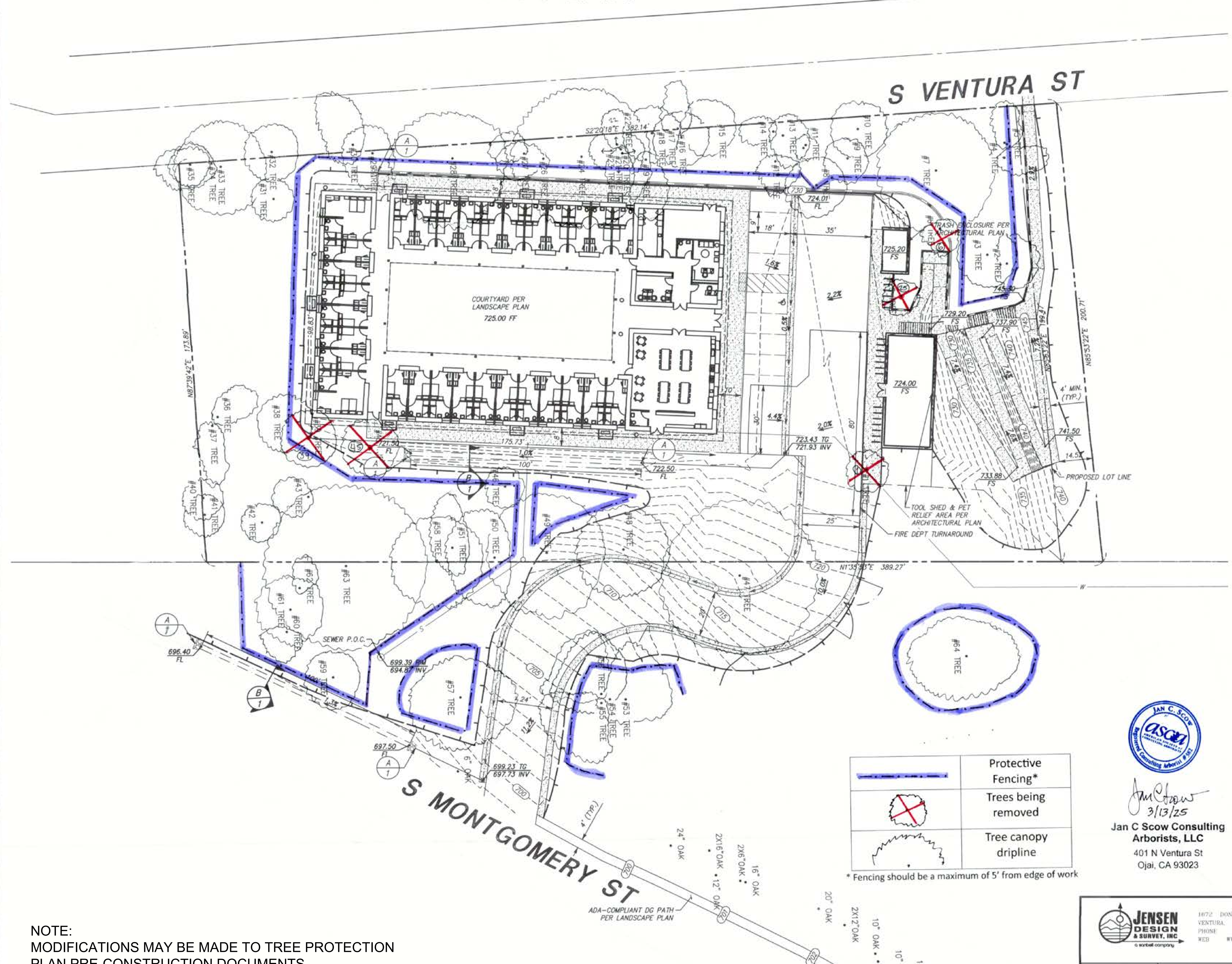
TREE PROTECTION PLAN



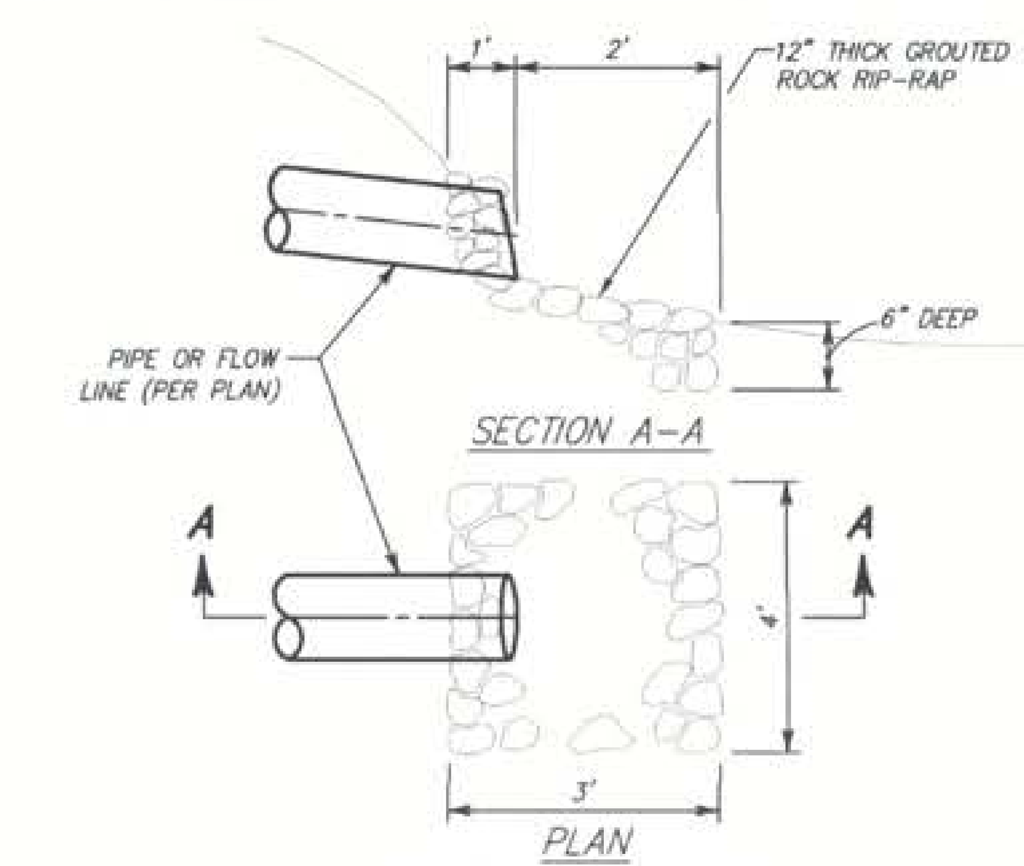
	Protective Fencing*
	Trees being removed
	Tree canopy dripline

* Fencing should be a maximum of 5' from edge of work

NOTE:
MODIFICATIONS MAY BE MADE TO TREE PROTECTION PLAN PRE-CONSTRUCTION DOCUMENTS.

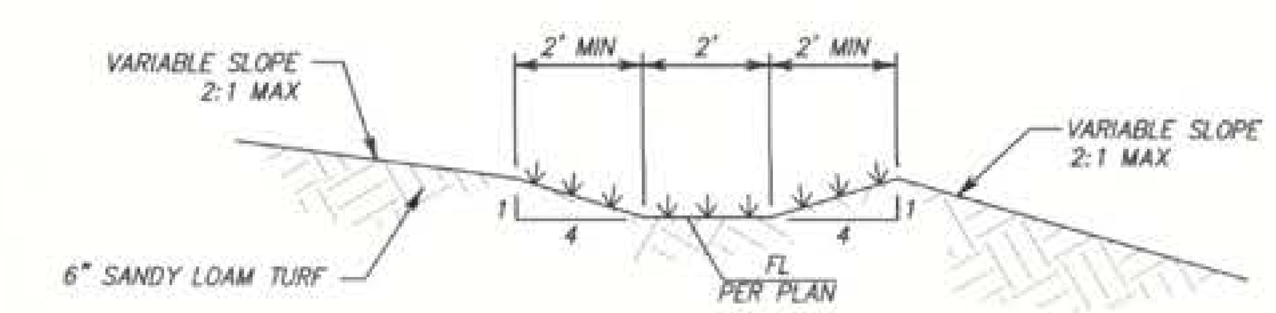
LEGEND

PROPOSED		EXISTING
WATER		STORM DRAIN
SEWER		WATER
STORM DRAIN		SEWER
SEWER MANHOLE		GAS
STORM INLET		TELEPHONE
RIP-RAP		OVERHEAD ELEC.
FLOWLINE		WATER VALVE
TOP/TOE OF SLOPE		FIRE HYDRANT
RIBBON GUTTER		STREET LIGHT
CONTOUR LINE		CONTOUR LINE
DAYLIGHT LINE		STREET SIGN
FENCE		ABBREVIATIONS
CONCRETE	FS	FINISH SURFACE
	FG	FINISH GRADE
	INV	INVERT
AC PAVING	TG	TOP OF GRATE
	SW	SIDEWALK
	EX	EXISTING
DG PATH PER LANDSCAPE PLAN	FL	FLOW LINE



NOTE: ROCK SHALL BE FACING CLASS PER SECTION 200-1.6.2 OF STD. LAND DEVELOPMENT SPECIFICATIONS

A RIP-RAP OUTLET DETAIL
NOT TO SCALE



B BIOSWALE DETAIL
NOT TO SCALE

Jan C Scow 3/13/25
Jan C Scow Consulting Arborists, LLC
401 N Ventura St
Ojai, CA 93023

GRAPHIC SCALE: 1"=20'

JENSEN DESIGN & SURVEY, INC — 1672 DONLON STREET, VENTURA, CALIF. 93003, PHONE 805/654-6977, WEB WWW.jdscivil.com

SCALE: AS NOTED	J.N.: C0005.6750	CONCEPT GRADING PLAN FOR OJAI DIGNITY MOVES	SHEET 1 OF 2
DATE: 3/13/25	DWG. NAME: 6750-01_02-PGP.dwg	APN: 023-0-120-020, City of Ojai, COUNTY OF VENTURA, STATE OF CALIFORNIA	

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LICENSED LANDSCAPE ARCHITECT KATHLEEN ANN NOLAN #5728 STATE OF CALIFORNIA — RENEWAL DATE FEB 2027 — 07-25-2025

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L-12

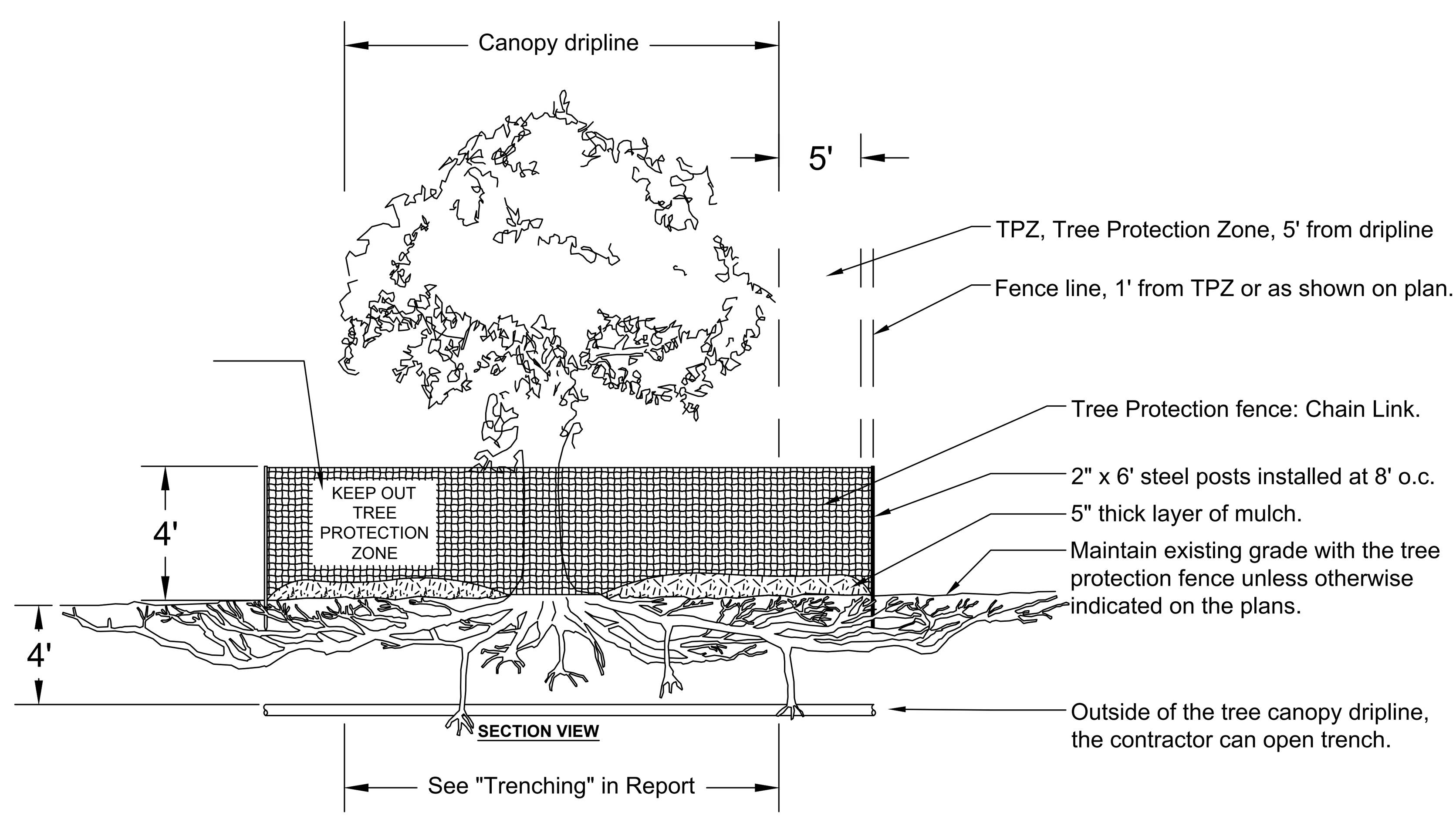
TREE PERMIT (T 25-XXX)

PRELIMINARY TREE REMEDIATION VALUE	
EXISTING SPECIES	QUERCUS AGRIFOLIA (5)
REPLACEMENT COST	$34,200.00
APPROVED COST	TBD
REPLACEMENT TREES	
SPECIES	
QUERCUS AGRIFOLIA	

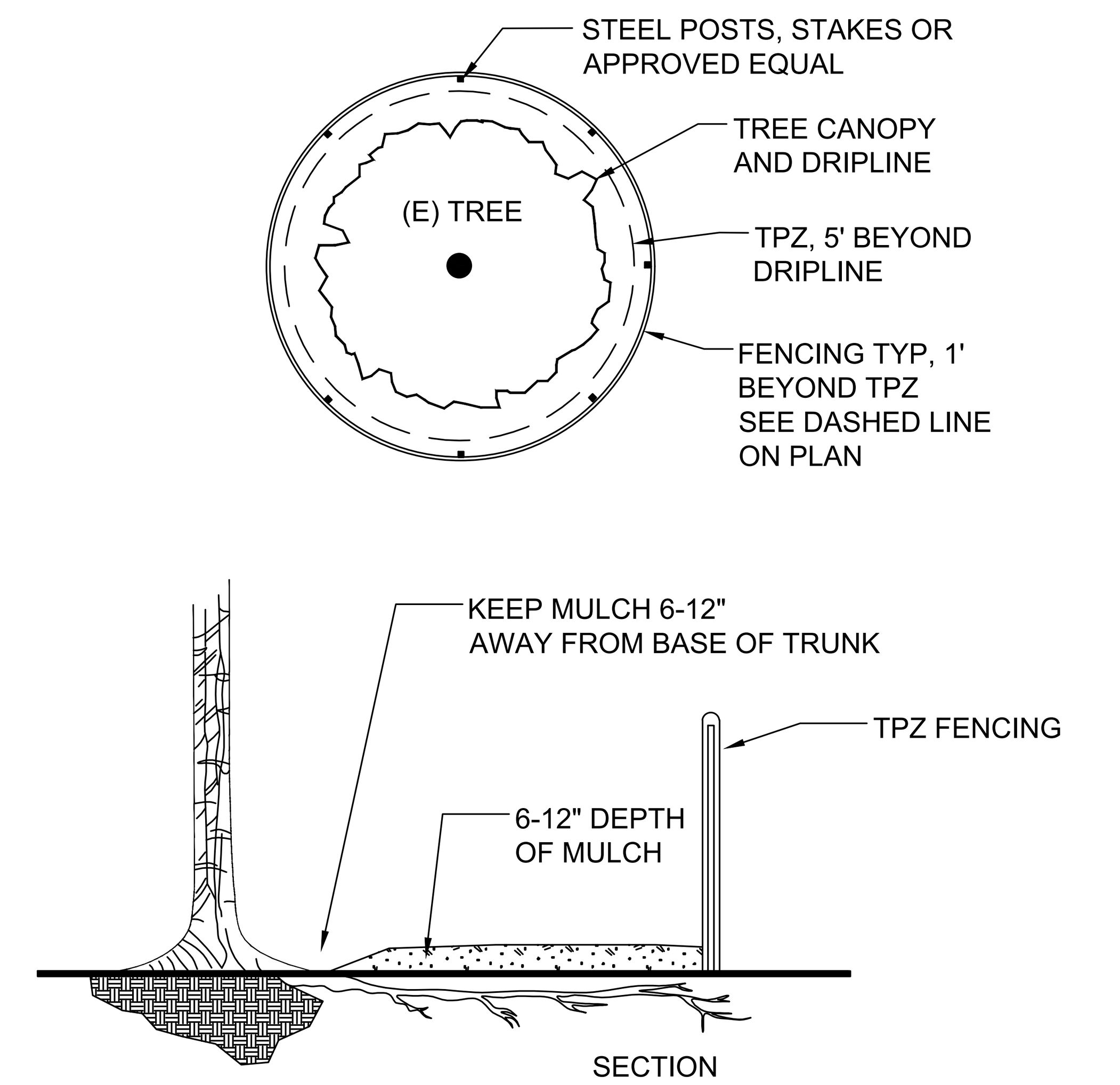
SEE ARBORIST REPORT.

REPLACEMENT VALUE		
TREE SIZE	VALUE	NUMBER OF TREES
24" BOX	$500.00	0
36" BOX	$1,400.00	0
48" BOX	$2,700.00	0
60" BOX	$6,000.00	6

PROPOSED COMBINATION OF THE ABOVE TO MEET OR EXCEED $ 34,200.00



A TREE PROTECTION ZONE
NOT TO SCALE



B SOIL AND ROOT PROTECTION
NOT TO SCALE

NOTES:
1. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
2. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
3. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
4. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
5. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION ZONE (TPZ).
6. BARRIER PREVENTS COMPACTION OF SOIL AROUND ROOTS BY CONSTRUCTION EQUIPMENT.

IMPACT ASSESSMENT - NEW DEVELOPMENT

Tree #	Species	Remove	Major impact	Moderate impact	Minor impact	grading impacts	canopy loss	root loss other	soil compactio	no impacts anticipated
1	*Quercus agrifolia*	X								
2	*Quercus agrifolia*				X			X		
3	*Quercus agrifolia*									X
4	*Quercus agrifolia*			X				X		
5	*Quercus agrifolia*									X
6	*Quercus agrifolia*	X								
7	*Quercus lobata*				X		?	X		
8	*Quercus agrifolia*		X				X	X		
9	*Quercus agrifolia*									X
10	*Quercus agrifolia*									X
11	*Quercus agrifolia*									X
12	*Quercus agrifolia*				X			X		
13	*Quercus agrifolia*									X
14	*Quercus agrifolia*									X
15	*Quercus lobata*									X
16	*Quercus lobata*									X
17	*Quercus agrifolia*									X
18	*Quercus agrifolia*									X
19	*Quercus agrifolia*			X	X		X	X		
20	*Quercus agrifolia*									X
21	*Quercus agrifolia*			X			?	X		
22	*Quercus agrifolia*									X
23	*Quercus agrifolia*									X
24	*Quercus agrifolia*		X				X	X		
25	*Quercus lobata*	X								
26	*Quercus agrifolia*				X					
27	*Quercus lobata*									X
28	*Quercus agrifolia*		X				X	X		
29	*Quercus agrifolia*			X			?	X		
30	*Quercus agrifolia*									X
31	*Quercus agrifolia*									X
32	*Quercus agrifolia*									X
33	*Quercus lobata*									X
34	*Quercus lobata*									X
35	*Quercus agrifolia*									X
36	*Quercus agrifolia*									X
37	*Quercus agrifolia*									X
38	*Quercus agrifolia*				X		?	X		
39	*Quercus agrifolia*	X								
40	*Quercus agrifolia*									X
41	*Quercus agrifolia*									X
42	*Quercus agrifolia*									X
43	*Quercus agrifolia*									X
44	*duplicate #*									
45	*Quercus agrifolia*	X								
46	*Quercus agrifolia*				X	X			X	
47	*Quercus lobata*		X			X		X		
48	*Quercus agrifolia*		X			X		X		
49	*Quercus agrifolia*		X			X		X		
50	*Quercus agrifolia*			X				X	X	
51	*Quercus agrifolia*									X
52	*Quercus agrifolia*									was not found
53	*Quercus agrifolia*				X	X				
54	*Quercus agrifolia*				X	X				
55	*Quercus agrifolia*				X	X				
56	*Quercus agrifolia*				X	X				
57	*Platanus racemosa*			X		X			X	
58	*Quercus lobata*								X	X
59	*Quercus lobata*				X	X			X	
60	*Quercus agrifolia*				X				X	
61	*Platanus racemosa*									X
62	*Platanus racemosa*									X
63	*Quercus agrifolia*									X
64	*Quercus lobata*									X

TREE PROTECTION NOTES:

1. "TREE PROTECTION ZONE" (TPZ) FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOLITION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL A TEMPORARY FENCE AROUND ALL EXISTING TREES TO BE SAVED.
2. TPZ FOR ALL TREE SPECIES (EXCEPT PROTECTED TREES) THE FENCE SHALL BE INSTALLED NO CLOSER THAN THE DRIP-LINE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE).
3. TPZ FOR ALL PROTECTED TREES (AS DEFINED IN SECTION B) THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN 6' FROM THE EDGE OF THE TREE'S DRIPLINE OR 15' FEET FROM THE TRUNK, WHICHEVER IS GREATER.(EXCEPT AS NOTED IN ARBORIST DRAWINGS ABOVE)
4. THE TPZ SHOULD NOT BE REDUCED TO ANY AREA SMALLER THAN THE CRITICAL ROOT ZONE (CRZ). COMPROMISING THE CRZ WILL REDUCE THE CHANCE OF LONG TERM TREE SURVIVAL AND INCREASE RISK OF TREE FAILURE.
5. FENCING SHALL CONSIST OF CHAINLINK. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "SAFE ZONE", NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
6. ANY WORK DONE WITHIN THE TPZ TO BE PERFORMED BY HAND DIGGING ONLY. NO GRADING, TRENCHING OR EQUIPMENT IN THIS AREA.
7. SEE ARBORIST'S REPORT.
8. PROTECTED TREES: ALL QUERCUS SP. & PLATANUS SP.
9. AREAS WITHIN THE TPZ TO BE MULCHED 6-12" DEPTH AND KEPT 6-12" AWAY FROM BASE OF TRUNK (SEE DETAIL ABOVE).
10. SUPERVISION BY ARBORIST REQUIRED FOR ACTIVITIES SUCH AS TREE REMOVALS, TRANSPLANTING, DEMOLITION, PLANTING, CANOPY, PRUNING, ROOT PRUNING, GRADING, INSTALLATION OF PROTECTIVE FENCING, TRENCHING, ROOT CARE, PEST CONTROL, MULCHING, SOIL MODIFICATION AND VENTING AND IRRIGATION.
11. ANY TREE DAMAGE SHOULD BE REPORTED TO THE PROJECT ARBORIST AS SOON AS POSSIBLE. SEVERED ROOTS SHOULD BE PRUNED CLEANED TO HEALTHY TISSUE, USING PROPER PRUNING TOOLS. BROKEN BRANCHES SHOULD BE PRUNED TO ISA STANDARDS.
12. PREVENTIVE MEASURE: PRUNING OF THE TREE CANOPIES AND BRANCHES SHOULD BE DONE AT THE DIRECTION OF PROJECT ARBORIST.
13. ACCURATE TREE CANOPIES NOT PROVIDED PER SURVEY. CROWN SPREAD DIAMETER SHOWN ON PLAN PER ARBORIST'S FIELD MEASUREMENTS WITH NOTATION.
14. FURTHER GRADING OR TRENCHING NEAR ANY OF THE PROTECTED TREES NOT TO BE REMOVED IS DISCOURAGED AND SHOULD BE KEPT TO A MINIMUM. WHERE TREE ROOTS MUST BE CUT MAKE ONLY SHARP, CLEAN CUTS TO PROMOTE ROOT CALLUSING AND REGENERATION. AVOID CUTS ON ROOTS GREATER THAN 2".

MAINTENANCE RECOMMENDATION:

1. TREES WITH REDUCED ROOT SYSTEMS WILL NEED SUPPLEMENTAL IRRIGATION DURING CONSTRUCTION AND AFTER IF WINTER RAINS ARE NOT ADEQUATE.

NOTE:
MODIFICATIONS MAY BE MADE TO TREE PROTECTION PLAN PRE-CONSTRUCTION DOCUMENTS.

DESIGN DEVELOPMENT, NOT FOR CONSTRUCTION

LICENSED LANDSCAPE ARCHITECT KATHLEEN ANN NOLAN #5738 RENEWAL DATE 07-25-2025 STATE OF CALIFORNIA

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DIGNITY MOVES
OJAI PERMANENT SUPPORTIVE HOUSING
PUBLIC WORKS YARD
611 S. MONTGOMERY ST, OJAI, CA. 93023
APN # 023-0-120-020

TREE PROTECTION PLAN

REVISIONS	
NAME	DATE

PHASE
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

JOB NUMBER:	25-01 DM
ORIGIN DATE	12.23.24
PLOT DATE	07.25.25
DRAWN BY:	KD
CHECKED BY:	KN
SHEET	14 OF 14

L-13

C:\Users\Keith\Dropbox\studio-landscape\Clients\2025\Dignity Moves 25-01 DM\CAD\CD\L-TPZ.dwg

ABBREVIATIONS

AB	ANCHOR BOLT	E	EXISTING	KO	KNOCK OUT	S	SOUTH
ABV	ABOVE	EA	EACH	KT	KITCHEN	SAF	SELF ADHERED FLASHING
AC	ACOUSTIC CEILINGS	EB	EXPANSION BOLT			SC	SOILD CORE
ACC	ACCESS	EJ	EXPANSION JOINT	LAM	LAMINATED	SC	SHADING COEFFICIENT
ACP	ASPHALT CONCRETE PAVEMENT	EL	ELEVATION	LAV	LAVATORY	SCHED	SCHEDULE
ACST	ACOUSTIC	ELEC	ELECTRICAL	LF	LINEAL FEET	SCP	SOLID COMPOSITE PANEL
ACT	ACOUSTIC CEILING TILE	ELEV	ELEVATOR	LHND	LEFT HAND	SD	SMOKE DETECTOR
ACW	ALUMINUM CURTAIN WALLS	EMER	EMERGENCY	LIQ	LIQUID	SEC	SECTION
AD	AREA DRAIN	EMF	ENTRANCE MATS AND FRAMES	LL	LIVE LOAD	SED	SEE ELECTRICAL DRAWINGS
ADD	ADDITIVE	ENCL	ENCLOSURE	LOC	LOCATION	SF	SQUARE FEET; SQUARE FOOT
ADJ	ADJUSTABLE	EQ	EQUAL	LP	LOW POINT	SG	SAFETY GLASS
AFF	ABOVE FINISHED FLOOR	EQIP	EQUIPMENT	LT	LIGHT	SH	SHELF
AGG	AGGREGATE	EST	ESTIMATE			SHR	SHOWER
ALT	ALTERNATE	EW	EACH WAY	MANUF	MANUFACTURED	SHT	SHEET
ALUM	ALUMINUM	EXP	EXPANDED/EXPANSION	MAS	MASONRY	SHTG	SHEATHING
AP	ACCESS PANEL	EXPO	EXPOSED	MAT.	MATERIAL	SI	SQUARE INCH(ES)
APPL	APPLIED/APPLYING	EXT	EXTERIOR	MAX	MAXIMUM	SIM	SIMILAR
APPROX	APPROXIMATE			MB	MACHINE BOLT	SLD	SEALED
ARCH	ARCHITECTURAL	F/F	FINISH TO FINISH	MC	MEDICINE CABINET	SM	SHEET METAL
ASPH	ASPHALT	FA	FIRE ALARM	MDO	MEDIUM DENSITY OVERLAY	SMD	SEE MECHANICAL DRAWINGS
AUTO	AUTOMATIC	FB	FLAT BAR	MECH	MECHANICAL	SMS	SHEET METAL SCREW
		FD	FLOOR DRAIN	MEMB	MEMBRANE	SOG	SLAB ON GRADE
BD	BOARD	FDC	FIRE DEPARTMENT CONNECTION	MEZZ	MEZZANINE	SPEC	SPECIFICATION
BD	BITUMINOUS DAMPPROOFING	FDN	FOUNDATION	MFR	MANUFACTURER	SS	STAINLESS STEEL
BITUM	BITUMINOUS	FE	FIRE EXTINGUISHER	MFS	METAL FRAMED SKYLIGHTS	SSD	SEE STRUCTURAL DRAWINGS
BLDG	BUILDING	FEC	FIRE EXTINGUISHER CABINET	MH	MAN HOLE	STA	STATION
BLK	BLOCK	FFE	FINISHED FLOOR ELEVATION	MIN	MINIMUM	STD	STANDARD
BLKG	BLOCKING	FH	FIRE HYDRANT/FULL HEIGHT	MIR	MIRROR	STL	STEEL
BM	BEAM	FHC	FIRE HOSE CABINET	MISC	MISCELLANEOUS	STOR	STORAGE
BO	BOTTOM OF	FHMS	FLAT HEAD MACHINE SCREW	MNT	MOUNTED	STRCT	STRUCTURAL
BOT	BOTTOM	FHS	FIRE HOSE STATION	MO	MASONRY OPENING	SUSP	SUSPENDED
BP	BUILDING PAPER	FHWS	FLAT HEAD WOOD SCREW	MTL	METAL	SYM	SYMMETRICAL
BRG	BEARING	FIN.	FINISH	MUL	MULLION		
BRK	BRICK	FLOUR	FLOURESCENT	MWP	METAL WALL PANEL	T	TREAD
BSMT	BASEMENT	FLSH'G	FLASHING			T & G	TOUNGE AND GROOVE
BW	BENTONITE WATERPROOFING	FOC	FACE OF COLUMN/CONCRETE			T.O.	TOP OF
BYND	BEYOND	FOF	FACE OF FINISH			T.O.P.	TOP OF PAVEMENT
		FOIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	N	NORTH	T.O.W.	TOP OF WALL
C/C	CENTER TO CENTER	FOIO	FURNISHED BY OWNER - INSTALLED BY OWNER	N/A	NOT APPLICABLE	TB	THERMALLY BROKEN
CAB.	CABINET	FOR	FACE OF MASONRY	NIC	NOT IN CONTRACT	TEL	TELEPHONE
CB	CATCH BASIN	FOS	FACE OF STUDS	NOM	NOMINAL	TERM	TERMINATION
CBU	CONCRETE BOARD UNDERLAYMENT	FR	FRAME	NR	NOISE REDUCTION	TG	TEMPERED GLASS
CEM	CEMENT	FRP	FIBERGLASS REINFORCED PANEL	NTS	NOT TO SCALE	THK	THICK
CER	CERAMIC	FRPF	FIREPROOF			TJI	TRUSS JOIST
CF	CUBIC FEET	FRWT	FIRE RETARDANT WOOD TREATMENT			TMR	THERMOPLASTIC MEMBRANE ROOF
CIP	CAST IN PLACE	FT	FOOT OR FEET	O/	OVER	TOC	TOP OF CURB
CJ	CONTROL JOINT	FTG	FOOTING	OA	OVER ALL	TOS	TOP OF SLAB; TOP OF STEEL
CLG	CEILING	FURR	FURRING	OBS	OBSCURE	TPH	TOILET PAPER HOLDER
CLKG	CAULKING	FUT	FUTURE	OC	ON CENTER	TS	TUBULAR STEEL
CLO	CLOSET	FVIC	FURNISHED BYVENDOR - INSTALLED BY CONTRACTOR	OD	OUTSIDE DIAMETER	TYP	TYPICAL
CLR	CLEAR	FVIV	FURNISHED BY VENDOR - INSTALLED BY VENDOR	ODR	OVERFLOW DRAIN		
CMPD	COMPOUND	FW	FULL WIDTH	OH	OVERHEAD	UNO	UNLESS NOTED OTHERWISE
CMU	CONCRETE MASONRY UNIT			OPH	OPPOSITE HAND	USK	UTILITY SINK
CNTR	COUNTER	G	GRID	OPNG	OPENING	VB	VAPOR BARRIER
COL.	COLUMN	GA	GAUGE	OPP	OPPOSITE		
COMP	COMPRESSIBLE	GAL.	GALLON				
CONC	CONCRETE	GALV	GALVANIZED	P	PAINT		
CONN	CONNECTION	GB	GYPSUM BOARD	PAC	PRECAST ARCHITECTURAL CONCRETE	VCT	VINYL COMPOSITION TILE
CONSTR	CONSTRUCTION	GC	GENERAL CONTRACTOR	PC	PRE-CAST	VEN	VENEER
CONTR	CONTRACTOR	GL	GLASS	PCF	POUNDS PER CUBIC FOOT	VERT	VERTICAL
CORR	CORRIDOR	GLAM	GLUE LAMINATED	PERF	PERFORATED	VEST.	VENTIBULE
CPT	CARPET	GR	GRADE	PERP	PERPENDICULAR	VG	VERTICAL GRAIN
CPT-1	CARPET TILE XXXXX	GRL	GUARD RAIL	PIV	PRESSURE INDICATOR VALVE	VR	BELOW GRADE VAPOR RETARDERS
CPT-2	CARPET TILE XXXXX	GWB	GYPSUM WALL BOARD	PL	PROPERTY LINE	VT	VINYL TILE
CPT-3	CARPET XXXXXXXXX	GYP	GYPSUM	PLAM	PLASTIC LAMINATE		
CT	CERAMIC TILE			PLAS	PLASTER	W	WEST
CTR	CENTER	HB	HOSE BIB	PLYWD	PLYWOOD	W/	WITH
CTSK	COUNTERSUNK	HC	HOLLOW CORE	PNL	PANEL	W/O	WITH OUT
CWC	CHILLED WATER CABINET	HD	HEAD	PR	PAIR	WAB	WATER & AIR BARRIER
		HDO	HIGH DENSITY OVERLAY	PRJ	PROJECTION SCREENS	WB	WHITE BOARD
D.O.	DOOR OPENING	HDR	HEADER	PSF	POUNDS PER FOOT	WC	WATER CLOSET
DB	DESIGN BUILD	HDWD	HARDWOOD	PSI	POUNDS PER INCH	WD	WOOD
DBL	DOUBLE	HDWR	HARDWARE	PTN	PARTITION	WDW	WINDOW
DEMO	DEMOLITION	HM	HOLLOW METAL	PTS	PLUGGED & TOUCH SANDED	WF	WIDE FLANGE
DIA	DIAMETER	HORIZ	HORIZONTAL	PTW	PRESSURE TREATED WOOD	WG	WIRED GLASS
DIM	DIMENSION	HP	HIGH POINT	PVC	POLYVINYL CHLORIDE	WH	WATER HEATER
DISCONT	DISCONTINUOUS	HR	HOUR			WL	WATER LINE
DISP	DISPENSER	HT	HEIGHT	R	RISER	WP	WATERPROOF
DL	DEAD LOAD	HVAC	HEATING/VENTILATING/AIR CONDITIONING	RA	RETURN AIR	WP	WOOD PANELING
DN	DOWN	HW	HOT WATER	RAD	RADIUS	WP'G	WATERPROOFING
DP	DAMPPROOFING	HWT	HOT WATER TANK	RB	RESILIENT BASE AND ACCESSORIES	WR	WATER RESISTANT
DR	DOOR			RD	ROOF DRAIN	WS	WEATEHRSTRIP
DS	DOWN SPOUT	ID	INSIDE DIAMETER	REC	RECOMMENDATIONS	WSCT	WAINSCOT
DSP	DRY STANDPIPE	IN.	INCH	REF	REFERENCE	WSG	WIRE SAFETY GLASS
DT	DRAIN TILE	INCL	INCLDE; INCLUDED; INCLUDING	REFR	REFRIDGERATOR	WT	WEIGHT
DTL	DETAIL	INSUL	INSULATION	REQ	REQIRED	WWF	WELDED WIRE FABRIC
DTLG	DETAILING	INSUL-1	FOAM BOARD INSULATION	REV	REVISION; REVISIONS; REVISED		
DWG	DRAWING	INSUL-2	BATT AND BLANKET INSULATION	RGTR	REGISTER	X	TYPE X
DWGS	DRAWINGS	INSUL-3	FOAMED IN PLACE INSULATION	RH	ROUND HEAD		
		INT	INTERIOR	RHND	RIGHT HAND		
		INV	INVERT	RM	ROOM		
				RNF	REINFORCED; REINFORCING		
		JB	JUNCTION BOX	RO	ROUGH OPENING		
		JC	JANITOR'S CLOSET	RSL	RESILIENT		
		JF	JOINT FILLER	RWL	RAIN WATER LEADER		
		JT	JOINT	RWS	ROLLING WINDOW SHADES		

SYMBOLS LEGEND

STRUCTURAL GRID — X

DOOR REFERENCE — XXX — REFERENCE DOOR SCHEDULE

DETAIL REFERENCE — X / AX.X — DRAWING NUMBER; SHEET NUMBER

BUILDING ELEVATION REFERENCE — X / AX.XX — DRAWING NUMBER; SHEET NUMBER

BUILDING SECTION REFERENCE — X / XXX — DRAWING NUMBER; SHEET NUMBER

WALL SECTION REFERENCE — X / XXX — DRAWING NUMBER; SHEET NUMBER

INTERIOR ELEVATION REFERENCE — X / AX.XX — DIRECTION; DRAWING NUMBER; SHEET NUMBER

ELEVATION REFERENCE OR DATUM — T.O. / EL. 0'-0"

WALL / PARTITION REFERENCE — X

EXISTING DOOR

NEW DOOR

NEW WALL

EXISTING WALL

FINISH FLOOR ELEVATION — XX' - X"

NORTH REFERENCE — N

FLAG NOTE — 4

KEYNOTE — X

ASSEMBLY KEYNOTE — 00

WINDOW REFERENCE — X

TOILET

LAVATORY

DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407

Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

25 July 2025

Design Development

Abbreviations
Notes & Legends

A0.1

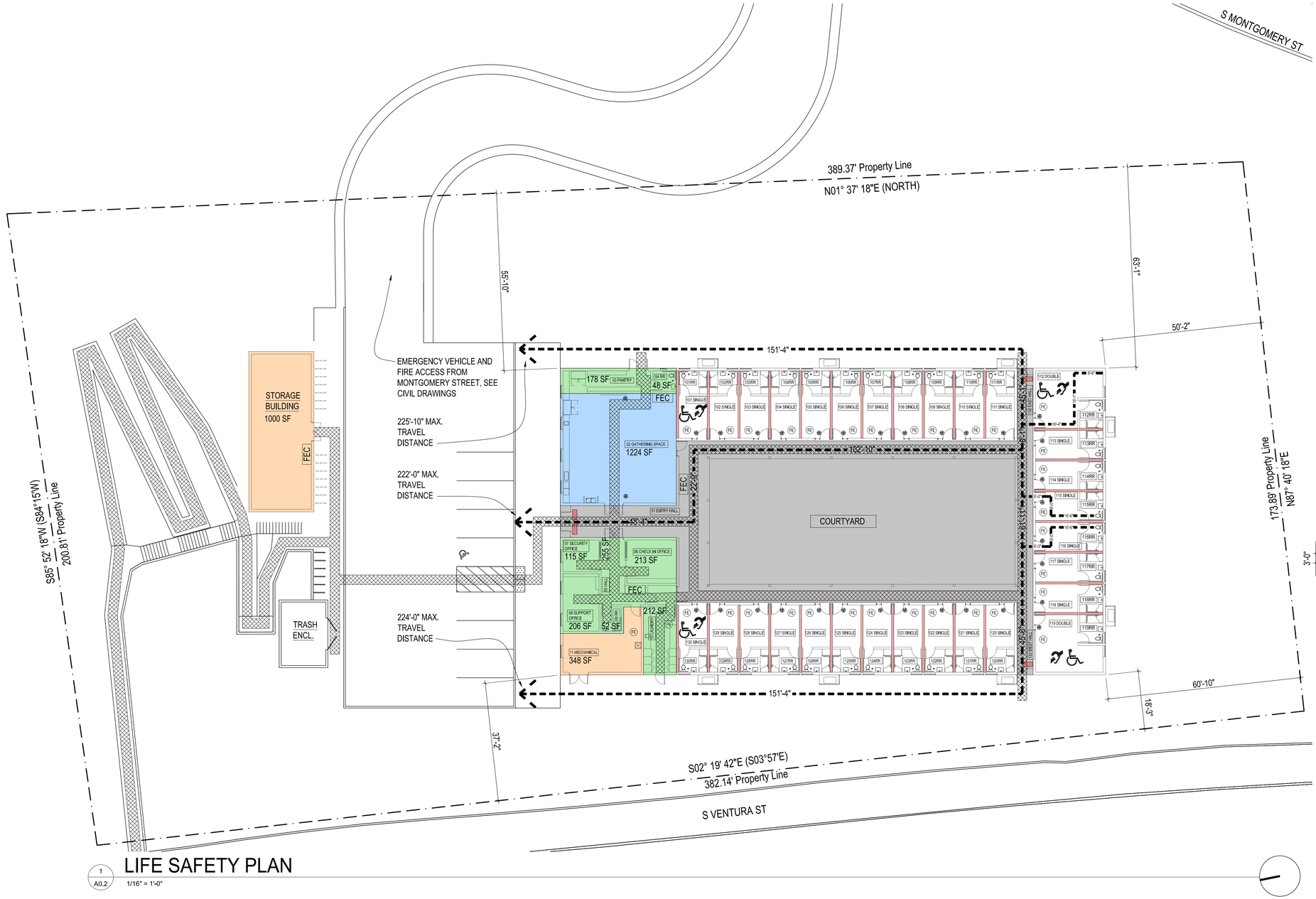
PLUMBING CALCS - 2022 CALIFORNIA PLUMBING CODE:

ROOM NAME	FUNCTION	QNTY	AREA (NET)	AREA TOTAL	OCCUPANT LOAD FACTOR	OCCUPANTS
GATHERING SPACE	ASSEMBLY	1	1224	1224	30	41
PANTRY	BUSINESS	1	178	178	150	1
SECURITY OFFICE	BUSINESS	1	115	115	150	1
CHECK IN OFFICE	BUSINESS	1	213	213	150	1
SUPPORT OFFICE	BUSINESS	1	206	206	150	1
HALL	BUSINESS	1	255	255	150	2
LAUNDRY	BUSINESS	1	212	212	150	1
MECHANICAL	BUSINESS	1	348	348	5000	0
COMMON RESTROOM	BUSINESS	2	52	104	150	1
COURTYARD - ENTRY HALL	PREFUNCTION AREA	1	6231	6231	0	0
TOTAL						**49** (25 MALE, 25 FEMALE)

<50 UNISEX RR ALLOWED
CPC 422.2 Exception 3 allows for (1) unisex restroom, two are propopsed
(1) Drinking fountain required

OCCUPANCY CALCULATIONS:

ROOM NAME	FUNCTION	QNTY	AREA (NET)	AREA TOTAL	OCCUPANT LOAD FACTOR	OCCUPANTS
GATHERING SPACE	ASSEMBLY	1	1224	1224	15	82
PANTRY	BUSINESS	1	178	178	150	1
SECURITY OFFICE	BUSINESS	1	115	115	150	1
CHECK IN OFFICE	BUSINESS	1	213	213	150	1
SUPPORT OFFICE	BUSINESS	1	206	206	150	1
HALL	BUSINESS	1	255	255	150	2
LAUNDRY	BUSINESS	1	212	212	150	1
MECHANICAL	STORAGE/MECH	1	348	348	300	1
COMMON RESTROOM	BUSINESS	2	52	104	150	1
SINGLE UNITS	R-2 RESIDENTIAL	28	190	5320	1 PER UNIT	28
DOUBLE UNITS	R-2 RESIDENTIAL	2	380	760	2 PER UNIT	4
COURTYARD - ENTRY HALL	PREFUNCTION AREA	1	6231	6231	0	0
TOTAL						**123**
STORAGE BUILDING	STORAGE/MECH	1	1000	1000	300	3



1 A0.2 LIFE SAFETY PLAN
1/16" = 1'-0"

CODE SUMMARY:

APPLICABLE BUILDING CODE
2022 CALIFORNIA BUILDING CODE (CBC).
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
24 CFR § 982.605 - SRO: HOUSING QUALITY STANDARDS

CHAPTER 3 OCCUPANCY AND USE
THE RESIDENTIAL PORTION OF THE PROJECT FALLS UNDER GROUP R-2 (RESIDENTIAL) OCCUPANCY. RESIDENTS' STAY MAY EXCEED 30 DAYS.
ADMINISTRATIVE AND SUPPORTIVE SERVICES: GROUP B (BUSINESS)
GATHERING SPACE: GROUP A-2 (ASSEMBLY)
EXTERIOR COURTYARD - OCCUPANCY, PREFUNCTION AREA WITH NO OCCUPANT LOAD

A LETTER FROM THE CITY OF OJAI WILL CONFIRM THAT FOOD WILL NOT BE PREPARED ON-SITE, AND THREE MEALS PER DAY WILL BE PREPARED OFF SITE AND DELIVERED TO THE GATHERING SPACE FOR THE RESIDENTS.

24 CFR § 982.605 - SRO: HOUSING QUALITY STANDARDS.
USE: SINGLE ROOM OCCUPANCY (SRO) HUD MIN SIZE 110 SF WITH 4 SF OF CLOSET SPACE.

CHAPTER 4 SPECIAL REQUIREMENTS
SECTION 402 REQUIRES 1-HOUR SEPARATION BETWEEN R2 UNITS.

CHAPTER 5 HEIGHTS AND AREAS
CONSTRUCTION TYPE V-B
MAXIMUM AREA: TABLE 506
SPRINKLERED A-2 = 24,000 SF
SPRINKLERED R-2 = 28,000 SF
SPRINKLERED B = 36,000 SF
TOTAL PROPOSED BUILDING AREA: 10,286 SF

CHAPTER 6 TYPES OF CONSTRUCTION
FIRE SEPARATION: TABLE 601 AND 602 REQUIRE FIRE RATED EXTERIOR WALLS WITHIN 10' OF PROPERTY LINE. ALL BUILDING WALLS ARE GREATER THAN 10' FROM THE PROPERTY LINE AND THEREFORE NOT REQUIRED TO BE RATED.

CHAPTER 7A
PROJECT TO COMPLY WITH VERY HIGH FIRE SEVERITY REQUIREMENTS.
INTUMESCENT ROOF VENTS
NON-COMBUSTIBLE STUCCO CLADDING
CLAY TILE ROOFING OVER CLASS A MEMBRANE ASSEMBLY

CHAPTER 10
1017.2 ESTABLISHES EXIT DISTANCE FOR FULLY SPRINKLERED R2 BUILDINGS TO BE 250'.
SEE DIAGRAM.

CHAPTER 11
CBC1104A.1 ALL GROUND FLOOR UNITS WILL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE.
CBC 11B-233.3 REQUIRES 5% OF UNITS TO BE ACCESSIBLE; = MINIMUM OF 2 ACCESSIBLE UNITS.
AT LEAST ONE UNIT SHALL BE FULLY ACCESSIBLE WITH MOBILITY FEATURES.
ALL UNITS PROPOSED TO BE ACCESSIBLE.

LEGEND

- CRASH BAR EGRESS HARDWARE
- 1-HOUR FIRE RATED PARTITION WALL
- SMOKE & CARBON MONOXIDE ALARM, INTERCONNECTED
- COMMUNICATION FEATURES IN UNIT
- ACCESSIBLE UNIT
- MAX. TRAVEL DISTANCE
- ACCESSIBLE PATH OF TRAVEL (3'-0"): CROSS SLOPE NOT TO EXCEED 2%, RUNNING SLOPE NOT TO EXCEED 5%
- ASSEMBLY
- BUSINESS
- STORAGE/MECHANICAL
- PRE FUNCTION AREA
- R-2 RESIDENTIAL
- FEC — FIRE EXTINGUISHER CABINET
- FE — FIRE EXTINGUISHER ON BRACKET

LIFE SAFETY PLAN GENERAL NOTES:

1. BUILDING TO BE FULLY SPRINKLERED DESIGN-BUILD AND PERMITTED UNDER DEFERRED SUBMITTAL.
2. CONTRACTOR TO PROVIDE DESIGN-BUILD FIRE ALARM.
3. SEE CIVIL AND LANDSCAPE DRAWINGS FOR EXTERIOR PAVING INFORMATION.
4. PARTITION WALLS BETWEEN RESIDENTIAL UNITS TO BE 1-HOUR RATED PER ASTM E119.
5. BUILDING IS GREATER THAN 10' FROM PROPERTY LINE AND FULLY SPRINKLERED, EXTERIOR WALLS NOT REQUIRED TO BE RATED.
6. ALL UNITS TO BE PROVIDED WITH INTERCONNECTED SMOKE AND CARBON MONOXIDE ALARMS.
7. UNITS WITH COMMUNICATION FEATURES TO INCLUDE VISUAL ALARMS FOR PERSONS WITH HEARING IMPAIRMENTS.

DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS
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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

25 July 2025

Design Development

Life Safety Plan

A0.2

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie; ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Y | N/A | RESPON. PARTY

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture. types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of *CALGreen*, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas, Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and ald in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code,* Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:

1,1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location of an EV charger at the time of original construction in accordance with the *California Electrical Code*.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4,106,4,2,2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a.Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3,3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1.The minimum length of each EV space shall be 18 feet (5486 mm).

2.The minimum width of each EV space shall be 9 feet (2743 mm),

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2,083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4,106,4,2,2,1,1 and 4,106,4,2,2,1,2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1,28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5,0 ozf)	1.00
Product Class 2 (> 5,0 ozf and ≤ 8,0 ozf)	1.20
Product Class 3 (> 8,0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4,0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code*.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0,5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0,2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0,125 GAL/FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations,* Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, Including water budget calculator, are available at; https://www,water,ca,gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings In sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4,408,2, 4,408,3 or 4,408,4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies If diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when Isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR). Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq,ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4,408,1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4,408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq, are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL
4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard, "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere,

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Design Development

CalGreen Code Notes

A0.4

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie; ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified In CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (In units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT 1,2

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds In Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS 2,3

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS 1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS 1

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD 2	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhttps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following;

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified,
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code.*

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be Independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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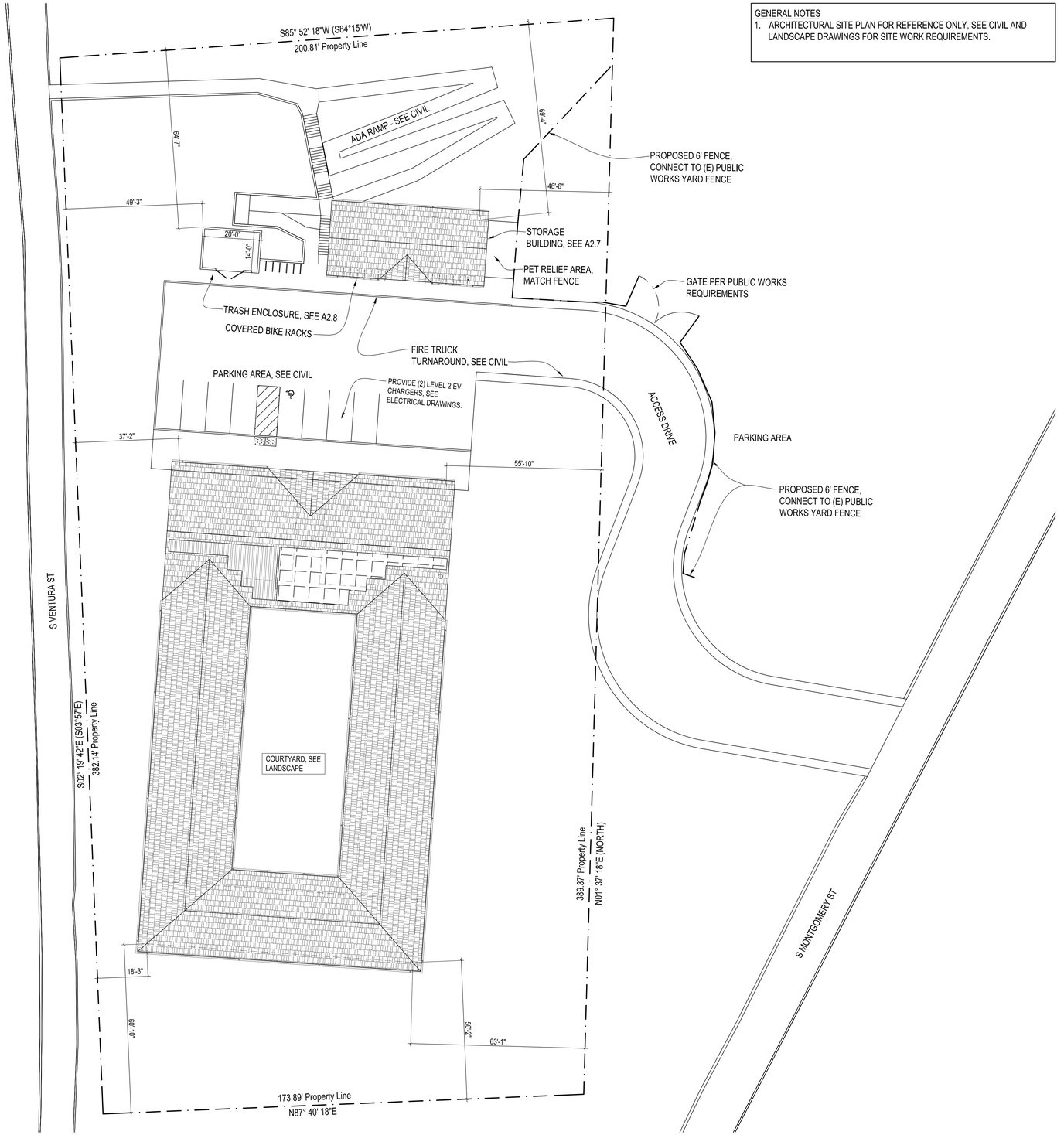
CalGreen Code Notes

A0.5

GENERAL NOTES
1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY, SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE WORK REQUIREMENTS.



1 A1.1 ARCHITECTURAL SITE PLAN

1" = 20'

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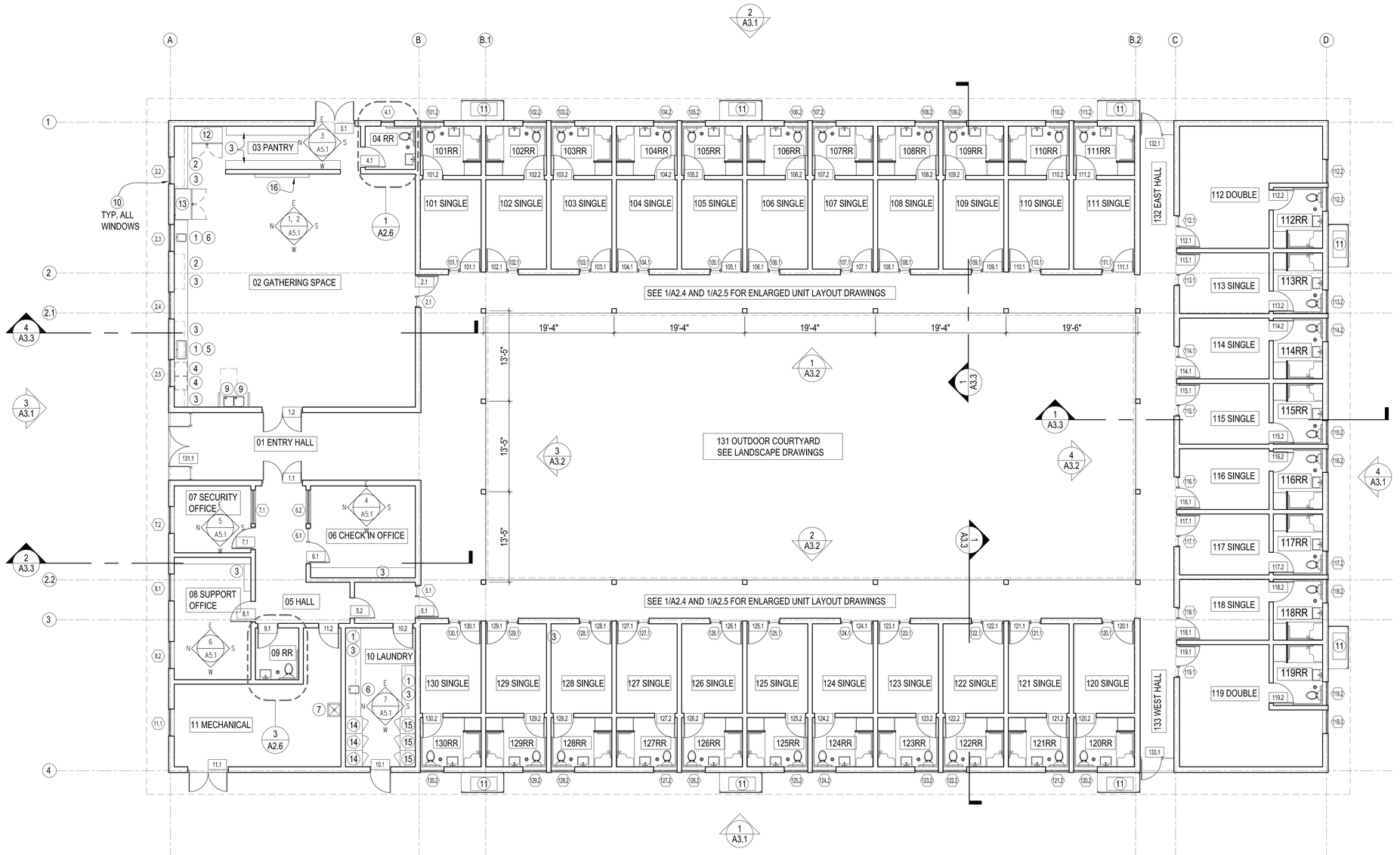
Site Plan

A1.1



FLOOR PLAN

1/8" = 1'-0"

FLOOR PLAN KEY NOTES

1. INTERIOR CASEWORK, ADA ACCESSIBLE
2. INTERIOR CASEWORK, LOWER CABINETS
3. OPEN SHELVING
4. DISHWASHER
5. SINK WITH UNDERSINK DISPOSAL
6. UTILITY SINK
7. MOP SINK
8. FLOOR DRAIN
9. DRINKING FOUNTAIN W/CANE GUARD AND ADA CLEARANCES
10. WINDOW COVERINGS
11. HVAC, PAD AND ENCLOSURE, SEE MECHANICAL DRAWINGS
12. REFRIGERATOR
13. FREEZER
14. WASHING MACHINE
15. DRYER
16. MOTORIZED SCREEN, SEE ELECTRICAL DRAWINGS

FLOOR PLAN GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. SEE A2.4 AND A2.5 FOR ENLARGED UNIT PLANS.
3. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDITIONAL PRODUCT AND MATERIAL INFORMATION.
4. BUILDINGS TO BE FULLY SPRINKLERED AND ALARMED UNDER DEFERRED SUBMITTAL.
5. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
6. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
7. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
8. ALL INTERIOR WALLS TO BE WALL TYPE A UNO.
9. SEE A0.2 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
10. SEE A5 SERIES DRAWINGS FOR INTERIOR ELEVATIONS.
11. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS.
12. PROVIDE WINDOW COVERINGS AT ALL GLAZING.
13. CONTRACTOR TO PROVIDE WEATHER TIGHT BUILDING ENVELOPE AND SEAL ALL PENETRATIONS TO PREVENT AIR AND WATER INFILTRATION.
14. ALL PENETRATIONS AT RATED WALLS AND CEILINGS TO BE FIRESTOPPED AND SEALED TO MAINTAIN REQUIRED FIRE RESISTANCE RATING.

DIGNITYMOVES
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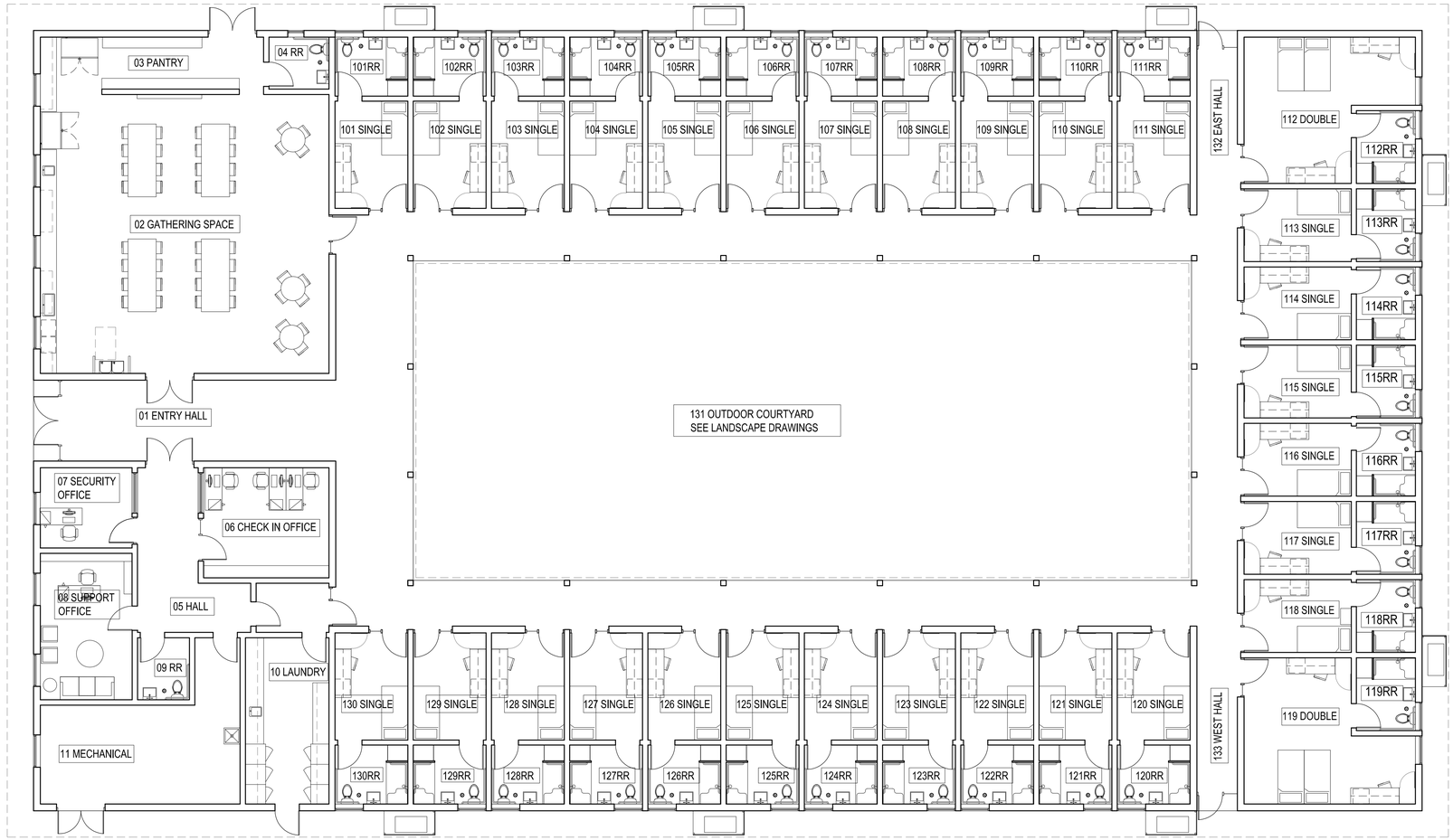
Design Development

Floor Plan

A2.1



1 A2.2 FURNITURE PLAN

1/8" = 1'-0"

FURNITURE PLAN GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS.
2. FURNITURE PLAN SHOWN FOR REFERENCE ONLY, ITEMS SHOWN HERE AND NOT ON A2.1 SHALL BE PROVIDED BY THE OWNER AND SHALL NOT BE INCLUDED THE CONTRACT FOR CONSTRUCTION.

DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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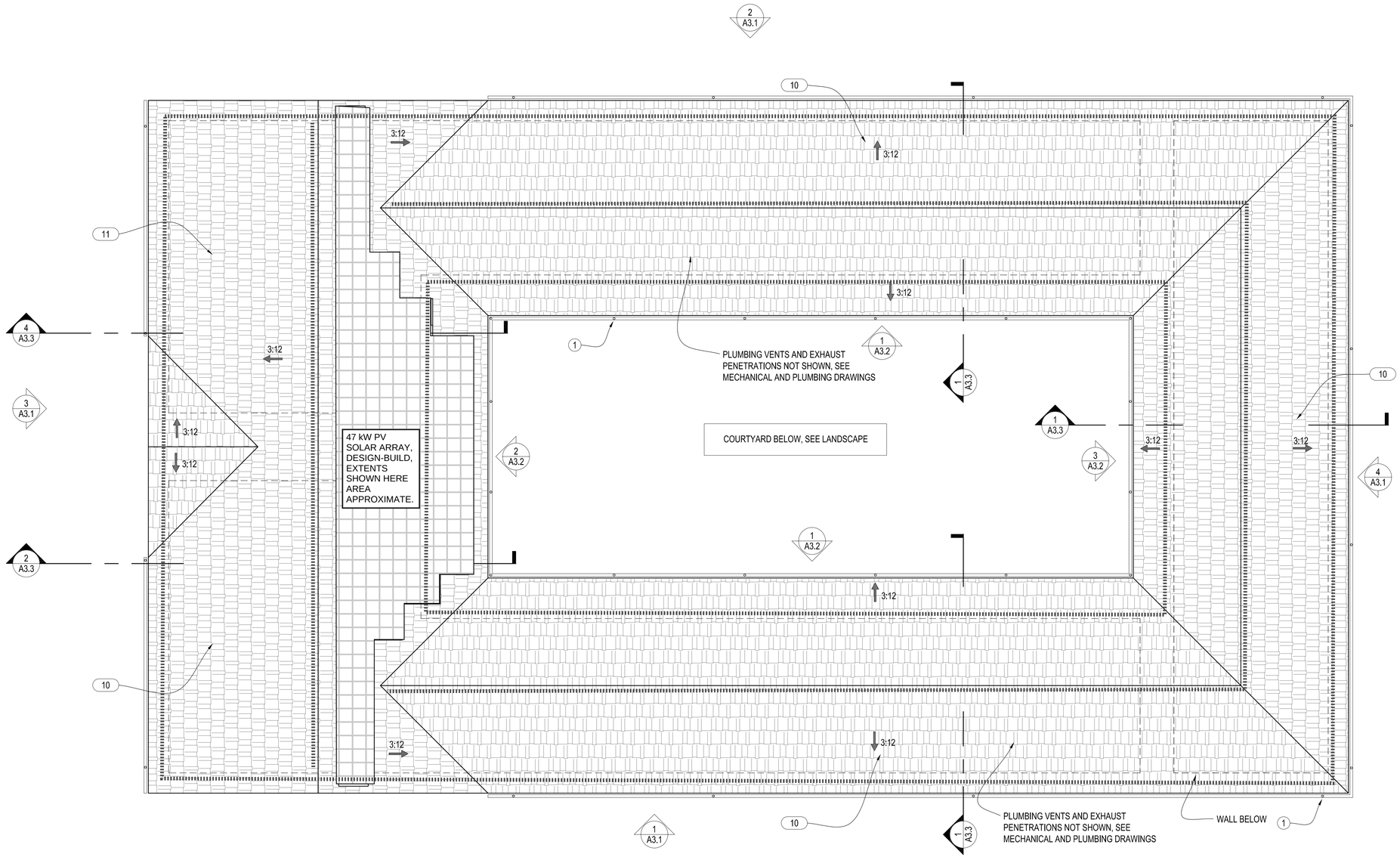
Furniture Plan

A2.2



1 A2.3 ROOF PLAN

1/8" = 1'-0"

ROOF VENTILATION CALCULATIONS	
ATTIC AREA (SF)	11,300
FACTOR	150
REQUIRED VENT AREA (SF)	75.3
NET FREE SQUARE INCHES REQ'D	10,848
UPPER VENT NFVA	**5,424**
LOWER VENT NFVA	**5,424**

PROPOSED	
4" EXTERIOR SOFFIT VENT (LF)	475
4" COURTYARD SOFFIT VENT (LF)	287
NFVA PER LF	19.2
TOTAL LOWER NFVA	**14,630**
RIDGE VENT - CONTINUOUS	
4" CONTINUOUS RIDGE VENT	379
NFVA PER LF	19.2
TOTAL UPPER NFVA	**7,277**

ROOF PLAN KEY NOTES

(1) GUTTER AND DOWNSPOUT PROVIDE GUTTER SCREENS

INTUMESCENT SOFFIT AND RIDGE VENTS, SEE WALL SECTIONS, DETAILS AND OUTLINE SPECS

ROOF PLAN GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
3. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
4. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
5. SEE ELECTRICAL FOR SOLAR PV ARRAY AND ASSOCIATED CONDUIT REQUIREMENTS.
6. NOT USED
7. ALL ROOF PENETRATIONS TO COMPLY WITH ROOFING MANUFACTURES REQUIREMENTS.
8. ALL GUTTERS TO BE SCREENED.
9. PROVIDE CONTINUOUS 4" INTUMESCENT RIDGE VENTING AT TRUSSED ROOF, SEE ATTIC VENT CALCULATIONS.

DIGNITY MOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

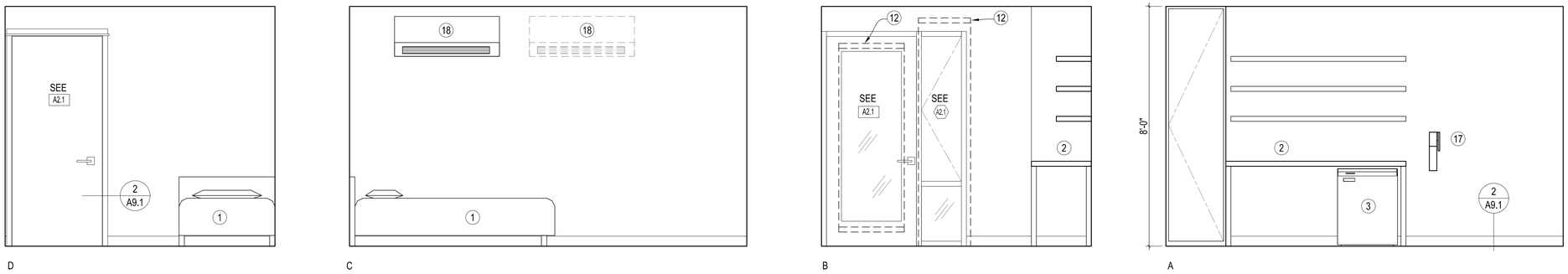
NOT FOR CONSTRUCTION

25 July 2025

Design Development

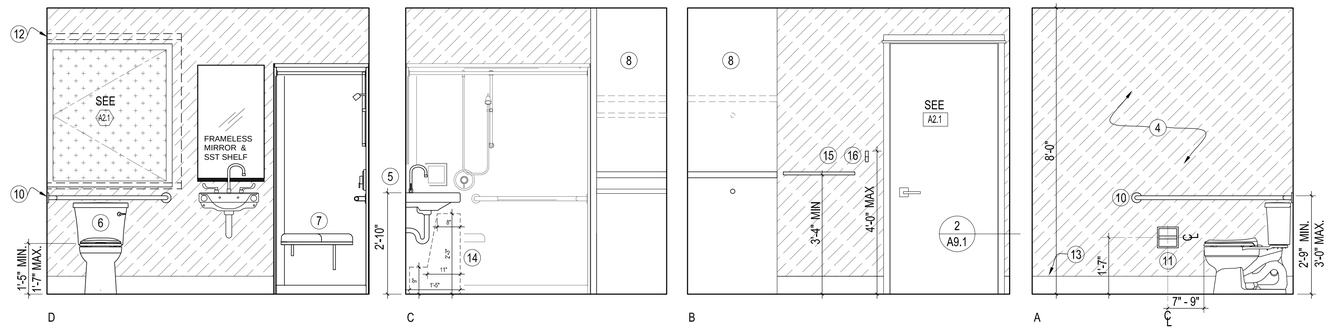
Roof Plan

A2.3



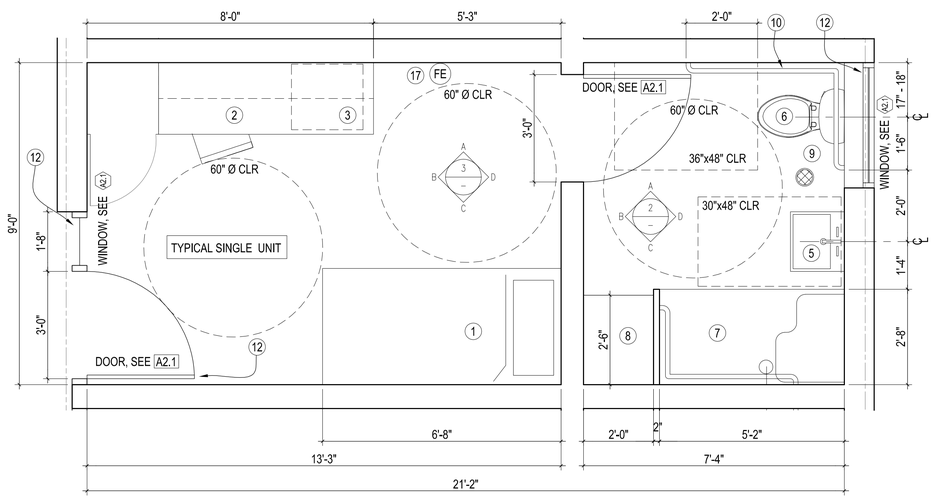
SINGLE UNIT INTERIOR ELEVATIONS

3 / A2.4 — 1/2" = 1'-0"



SINGLE UNIT RESTROOM INTERIOR ELEVATIONS

2 / A2.4 — 1/2" = 1'-0"



ENLARGED SINGLE UNIT FLOOR PLAN

1 / A2.4 — 1/2" = 1'-0"

UNIT PLAN KEY NOTES

1. TWIN XL BED, STORAGE BELOW, FOIO
2. DESK, SHELVES ABOVE, CLOSET, FOIO
3. MINI FRIDGE BELOW, FOIO
4. FRP WALL PANELING, FULL HEIGHT
5. WALL MOUNTED SINK
6. TOILET
7. ROLL IN SHOWER INSTALL PER MFR REC, PROVIDE SHOWER CURTAIN
8. CLOSET, ROD/SHELF ABOVE
9. FLOOR DRAIN
10. GRAB BAR
11. TISSUE HOLDER
12. WINDOW COVERING
13. 6" COVE BASE
14. MIN. KNEE CLEARANCES
15. SHELF
16. COAT HOOK
17. FIRE EXTINGUISHER ON BRACKET
18. HVAC, SEE MECHANICAL DRAWINGS

UNIT PLAN GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. ALL INTERIOR WALLS TO BE WALL TYPE 2 UNO.
5. SEE A0.2 AND A0.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
6. SEE A6.2 FOR REFLECTED CEILING PLAN.
7. DRAWINGS AND NOTES SHOWN HERE ARE TYPICAL FOR ALL SINGLE UNITS. PROVIDE MIRROR IMAGE OF LAYOUT FOR EVERY OTHER UNIT.
8. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDL INFORMATION

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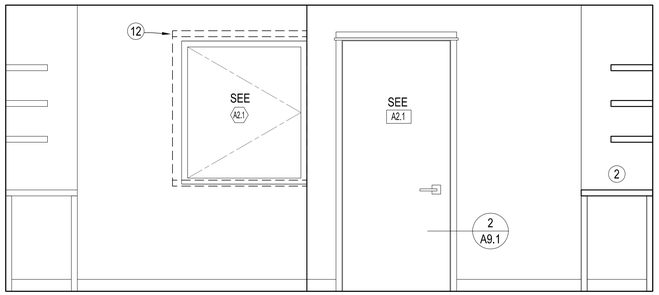
Design Development

Single Unit Plan/Int. Elevs.

A2.4



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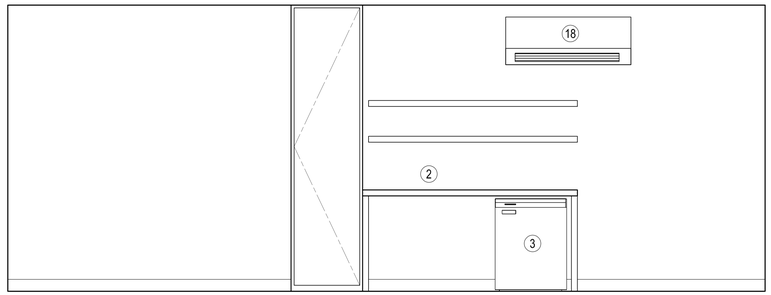

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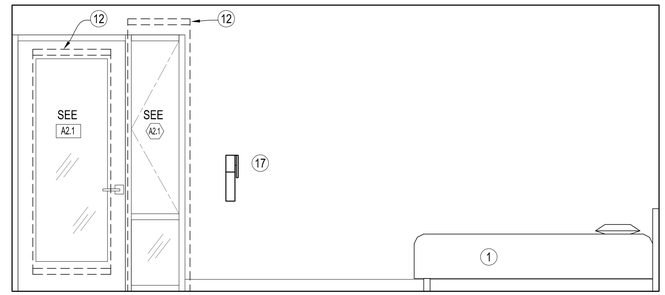


B

4 A2.5 DOUBLE UNIT INTERIOR ELEVATIONS (CONT.)

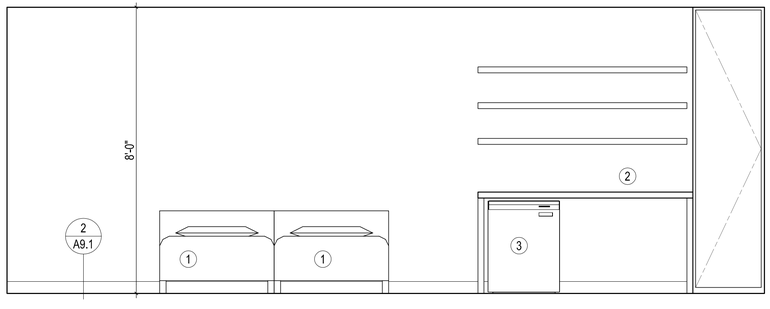
1/2" = 1'-0"

UNIT PLAN KEY NOTES

1. TWIN XL BED, STORAGE BELOW, FOIO
2. DESK, SHELVES ABOVE, CLOSET, FOIO
3. MINI FRIDGE BELOW, FOIO
4. FRP WALL PANELING, FULL HEIGHT
5. WALL MOUNTED SINK
6. TOILET
7. ROLL IN SHOWER INSTALL PER MFR REC, PROVIDE SHOWER CURTAIN
8. CLOSET, ROD/SHELF ABOVE
9. FLOOR DRAIN
10. GRAB BAR
11. TISSUE HOLDER
12. WINDOW COVERING
13. 6" COVE BASE
14. MIN. KNEE CLEARANCES
15. SHELF
16. COAT HOOK
17. FIRE EXTINGUISHER ON BRACKET
18. HVAC, SEE MECHANICAL DRAWINGS

UNIT PLAN GENERAL NOTES:

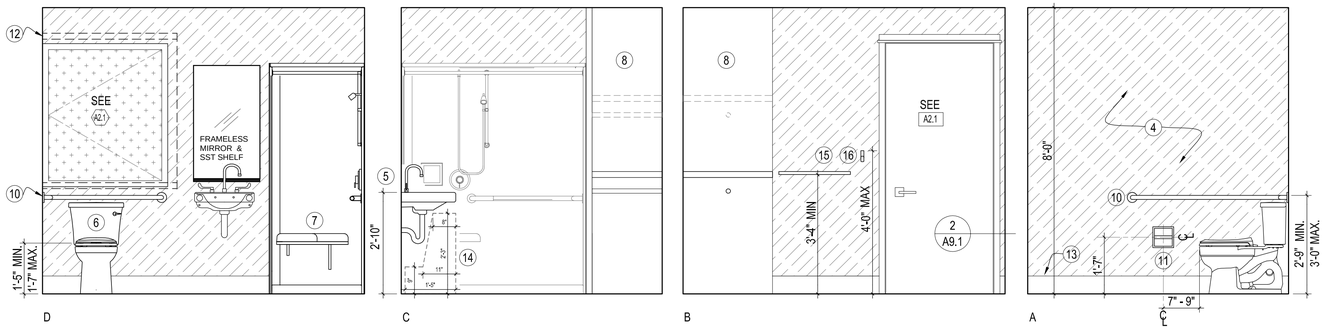
1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. ALL INTERIOR WALLS TO BE WALL TYPE 2 UNO.
5. SEE A0.2 AND A0.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
6. SEE A6.2 FOR REFLECTED CEILING PLAN.
7. DRAWINGS AND NOTES SHOWN HERE ARE TYPICAL FOR ALL SINGLE UNITS. PROVIDE MIRROR IMAGE OF LAYOUT FOR EVERY OTHER UNIT.
8. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDL INFORMATION



A

3 A2.5 DOUBLE UNIT INTERIOR ELEVATIONS

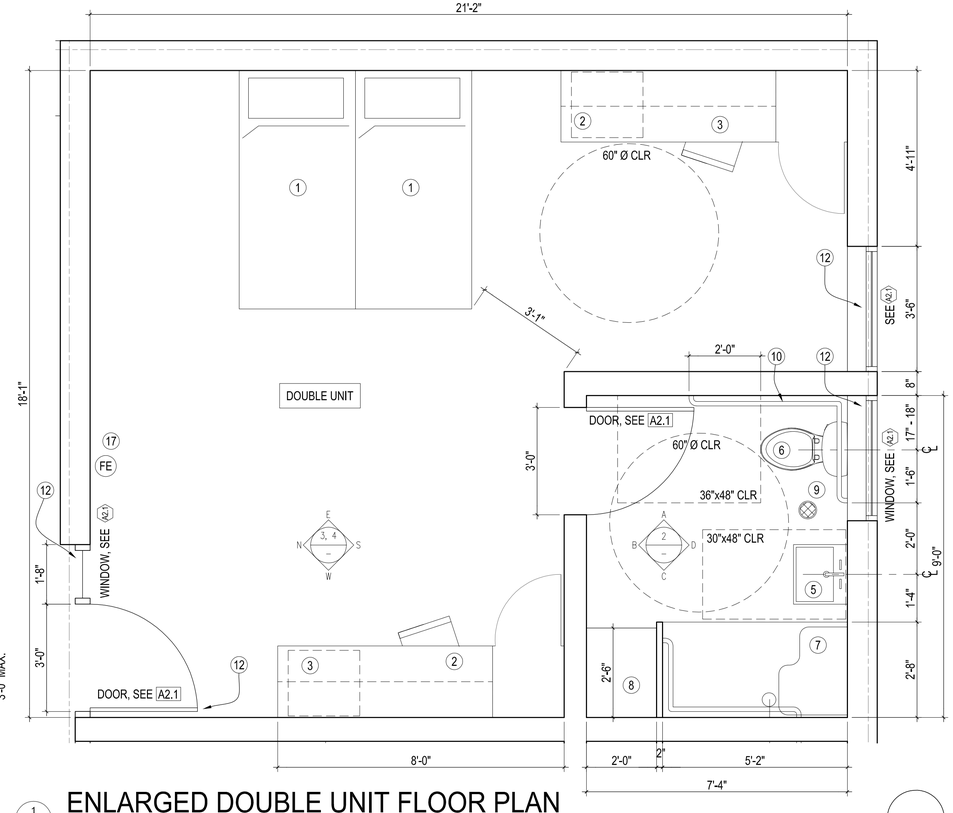
1/2" = 1'-0"



D C B A

2 A2.5 DOUBLE UNIT RESTROOM INTERIOR ELEVATIONS

1/2" = 1'-0"



1 A2.5 ENLARGED DOUBLE UNIT FLOOR PLAN

1/2" = 1'-0"

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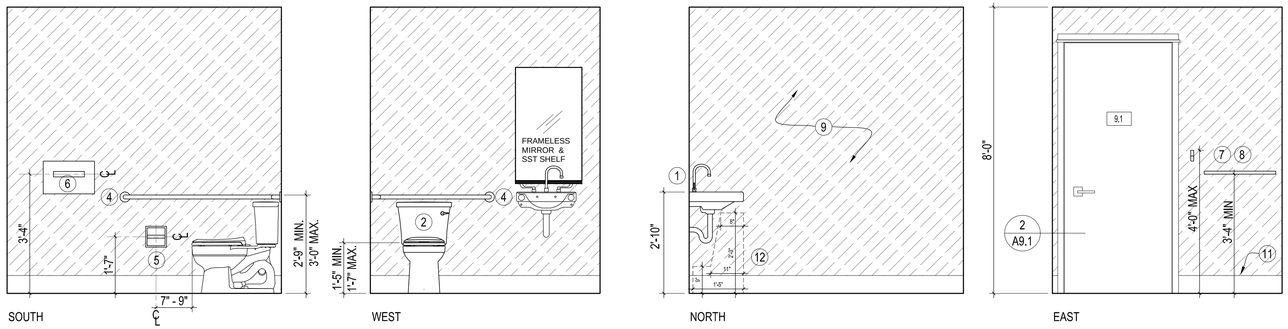
25 July 2025

Design Development

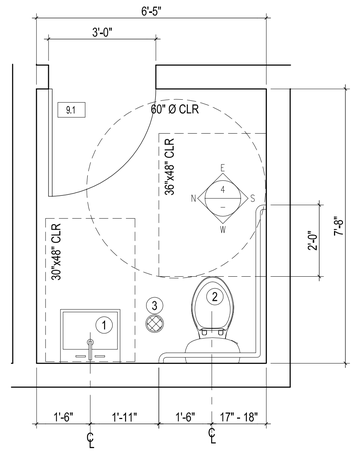
Double Unit Plan/Int. Elevs.

A2.5



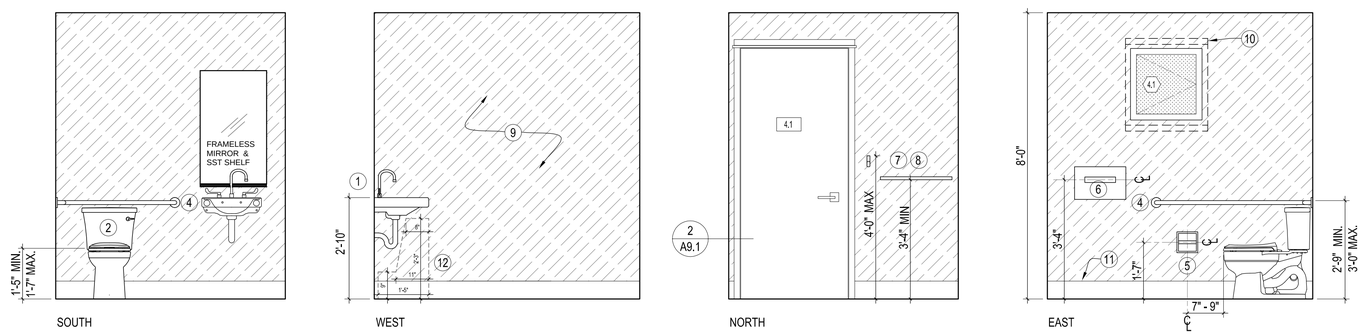
4 A2.6 09 RESTROOM INTERIOR ELEVATIONS

1/2" = 1'-0"



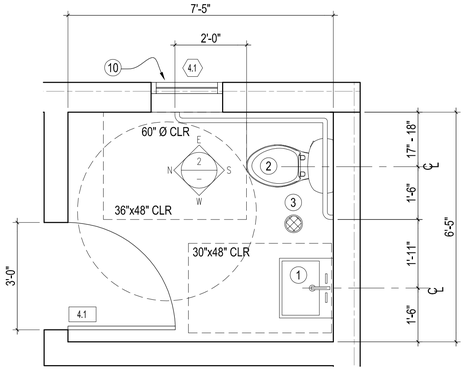
3 A2.6 ENLARGED 09 RESTROOM FLOOR PLAN

1/2" = 1'-0"



2 A2.6 04 RESTROOM INTERIOR ELEVATIONS

1/2" = 1'-0"



1 A2.6 ENLARGED 04 RESTROOM FLOOR PLAN

1/2" = 1'-0"

RESTROOM FLOOR PLAN KEY NOTES

1. WALL MOUNTED SINK
2. TOILET
3. FLOOR DRAIN
4. GRAB BAR
5. TISSUE HOLDER
6. SEAT PAPER DISPENSER
7. COAT HOOK
8. SHELF
9. FRP WALL PANELING, FULL HEIGHT
10. WINDOW COVERING
11. 6" COVE BASE
12. MIN. KNEE CLEARANCES

RESTROOM FLOOR PLAN GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. ALL INTERIOR WALLS TO BE WALL TYPE 2 UNLESS NOTED OTHERWISE.
5. SEE A0.2 AND A0.3 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.

DIGNITY MOVES

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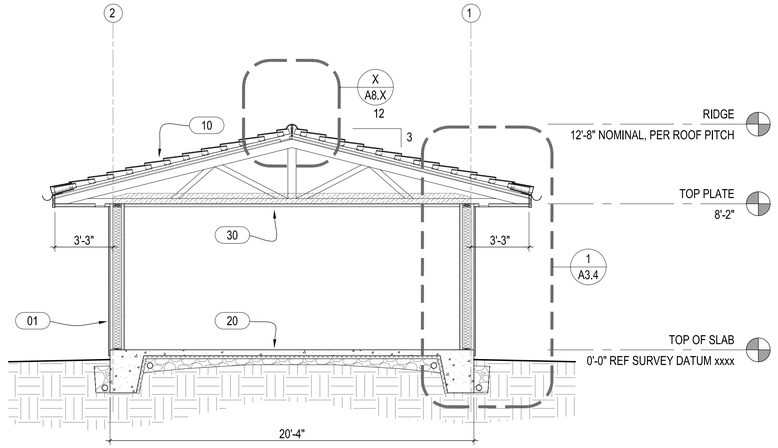
Design Development

Restrooms Plans/Int. Elevs.

A2.6



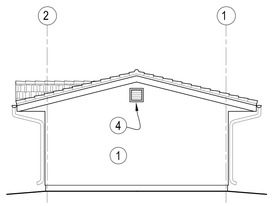
7 A2.7 **BUILDING SECTION**
1/4" = 1'-0"

STORAGE BUILDING ELEVATION KEY NOTES

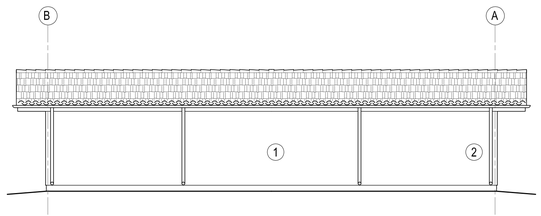
1. STUCCO, SEE A3.0
2. GUTTER AND DOWNSPOUT
3. ROOFING, SEE A3.0
4. INTUMESCENT GABLE VENT

STORAGE BUILDING GENERAL NOTES:

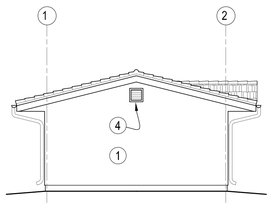
1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. SEE A0.2 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.



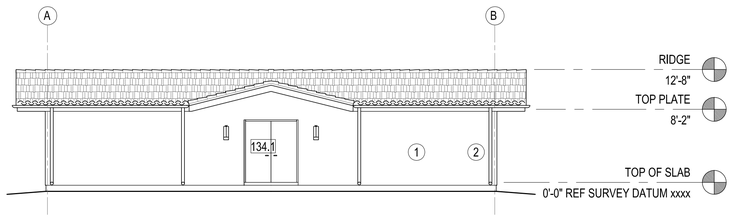
6 A2.7 **EAST ELEVATION**
1/8" = 1'-0"



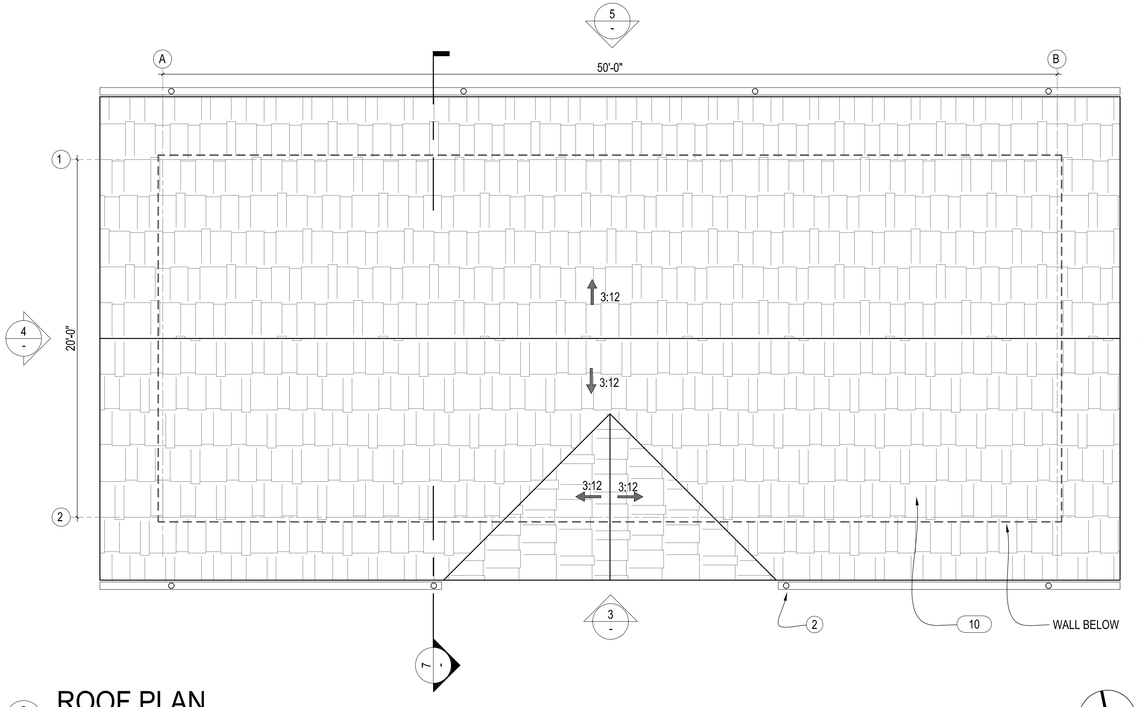
5 A2.7 **NORTH ELEVATION**
1/8" = 1'-0"



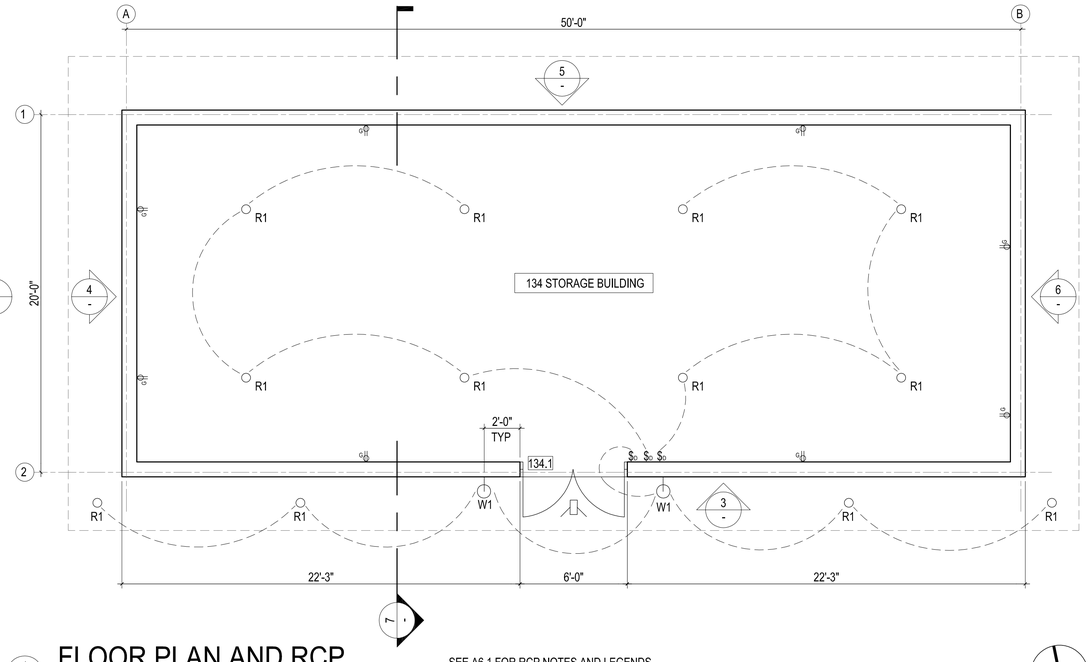
4 A2.7 **WEST ELEVATION**
1/8" = 1'-0"



3 A2.7 **SOUTH ELEVATION**
1/8" = 1'-0"



2 A2.7 **ROOF PLAN**
1/4" = 1'-0"



1 A2.7 **FLOOR PLAN AND RCP**
1/4" = 1'-0"

SEE A6.1 FOR RCP NOTES AND LEGENDS

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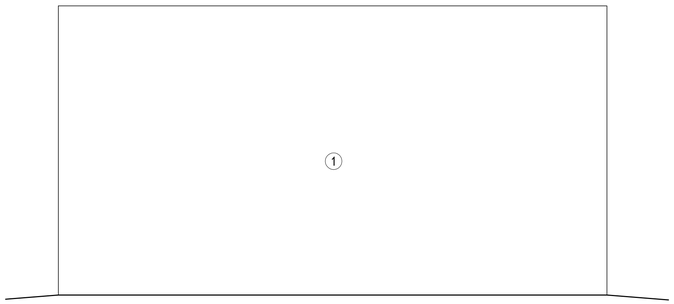
NOT FOR CONSTRUCTION

25 July 2025

Design Development

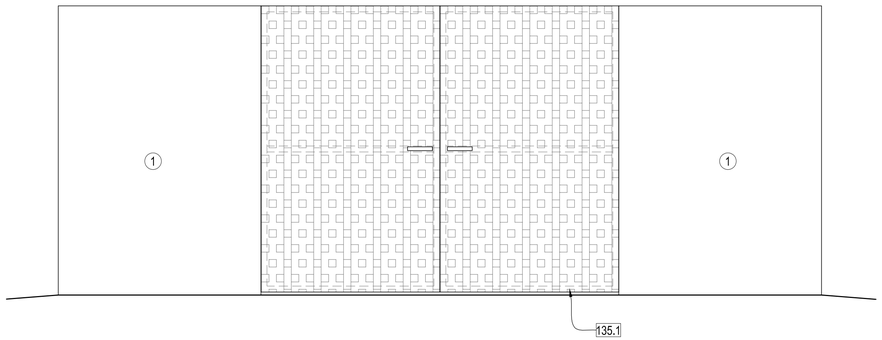
Storage Building

A2.7



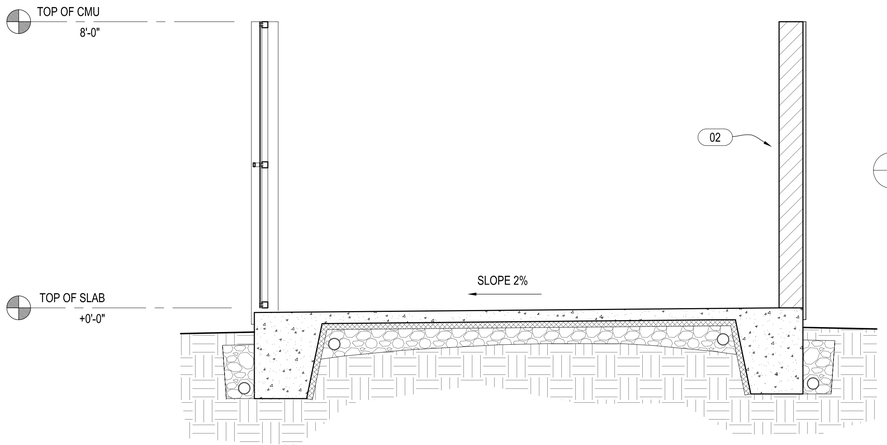
4 A2.8 WEST AND EAST ELEVATION

1/2" = 1'-0"



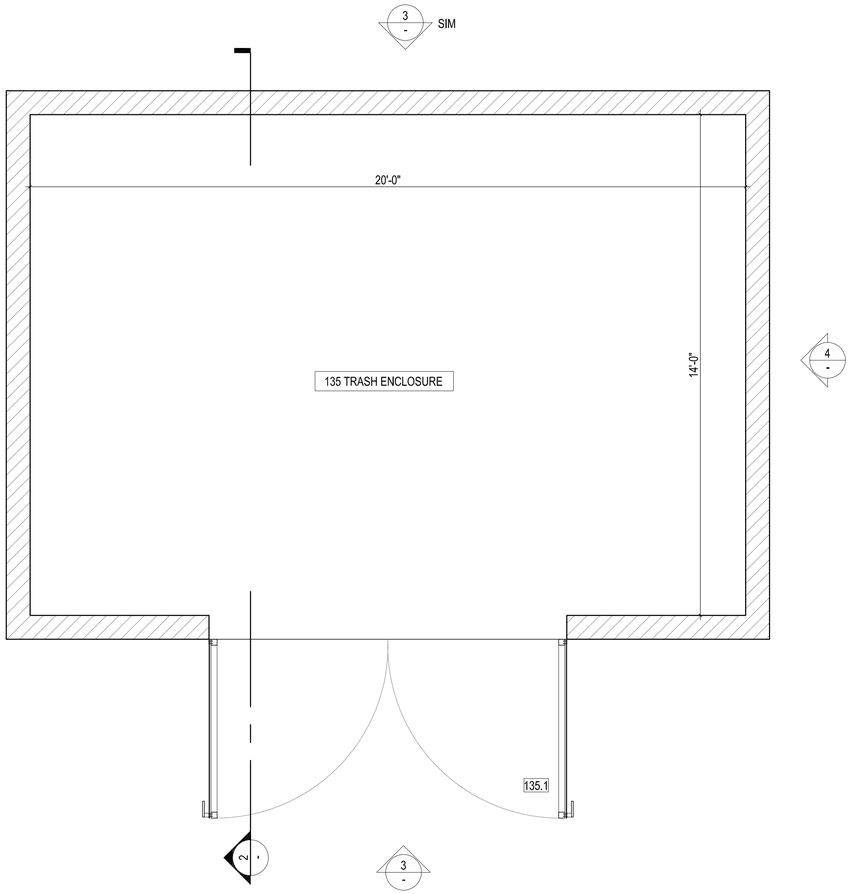
3 A2.8 SOUTH ELEVATION - NORTH SIMILAR

1/2" = 1'-0"



2 A2.8 SECTION

1/2" = 1'-0"



1 A2.7 FLOOR PLAN

1/2" = 1'-0"

TRASH ENCLOSURE KEY NOTES

1 STUCCO, SEE A3.0

TRASH ENCLOSURE GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
3. SEE A0.2 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.

DIGNITYMOVES

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Design Development

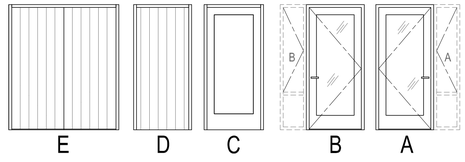
Trash Enclosure

A2.8

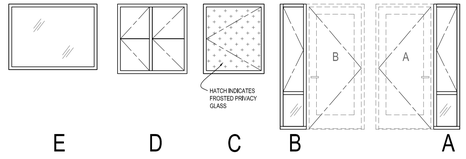
DOOR SCHEDULE

DOOR TAG	ROOM #	ROOM NAME	TYPE	MFR	FINISH	THICKNESS	NOMINAL WIDTH VERIFY RO	NOMINAL HT VERIFY RO	HARDWARE SPEC	HARDWARE TYPE	HARDWARE FINISH	GLASS TYPE	DIVIDED LITE PATTERN	U-VALUE	SHGC	REMARKS	DOOR TAG
1.1	1	ENTRY HALL	E	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	5'-8"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE					PAIR 2'-10"	1.1
1.2			E	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	5'-8"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE					PAIR 2'-10"	1.2
2.1	2	GATHERING SPACE	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	2.1
3.1	3	PANTRY	E	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	5'-8"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE					PAIR 2'-10"	3.1
4.1	4	REST ROOM	D	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	ADA PASSAGE/LEVEL WITH ADA ONE-SIDED DEADBOLT AND OCCUPANCY INDICATOR		DARK BRONZE						4.1
5.1	5	HALL	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	5.1
5.2			D	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/8"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE						5.2
6.1	6	CHECK IN OFFICE	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	6.1
7.1	7	SECURITY OFFICE	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	7.1
8.1	8	OFFICE SUPPORT	D	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE						8.1
9.1	9	REST ROOM	D	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	ADA PASSAGE/LEVEL WITH ADA ONE-SIDED DEADBOLT AND OCCUPANCY INDICATOR		DARK BRONZE						9.1
10.1	10	LAUNDRY	D	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE						10.1
10.2			D	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE						10.2
11.1	11	MECHANICAL	E	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	5'-8"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE					PAIR 2'-10"	11.1
101.1	101	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	101.1
101.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						101.2
102.1	102	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	102.1
102.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						102.2
103.1	103	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	103.1
103.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						103.2
104.1	104	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	104.1
104.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						104.2
105.1	105	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	105.1
105.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						105.2
106.1	106	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	106.1
106.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						106.2
107.1	107	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	107.1
107.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						107.2
108.1	108	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	108.1
108.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						108.2
109.1	109	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	109.1
109.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						109.2
110.1	110	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	110.1
110.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						110.2
111.1	111	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	111.1
111.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						111.2
112.1	112	DOUBLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	112.1
112.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						112.2
113.1	113	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	113.1
113.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						113.2
114.1	114	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	114.1
114.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						114.2
115.1	115	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	115.1
115.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						115.2
116.1	116	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	116.1
116.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						116.2
117.1	117	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	117.1
117.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						117.2
118.1	118	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	118.1
118.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						118.2
119.1	119	DOUBLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	119.1
119.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						119.2
120.1	120	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	120.1
120.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						120.2
121.1	121	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	121.1
121.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						121.2
122.1	122	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	122.1
122.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						122.2
123.1	123	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	123.1
123.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						123.2
124.1	124	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	124.1
124.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						124.2
125.1	125	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	125.1
125.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						125.2
126.1	126	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	126.1
126.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						126.2
127.1	127	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	127.1
127.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						127.2
128.1	128	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	128.1
128.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						128.2
129.1	129	SINGLE UNIT	B	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	129.1
129.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						129.2
130.1	130	SINGLE UNIT	A	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	3'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE	WUI	1 x 1	TBD	TBD	MULLED UNIT	130.1
130.2			C	SIMPSON SOLID CORE SLAB OR EQUAL	PAINT TBD	1-3/8"	3'-0"	7'-0"	PRIVACY		DARK BRONZE						130.2
131.1	131	COURTYARD	A	STEEL	BLACK POWDER COAT	2"	10'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, CRASHBAR EGRESS HARDWARE		BLACK					PAIR 3'-0" GATES ASSY	131.1
132.1	132	EAST HALL	B	STEEL	BLACK POWDER COAT	2"	5'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, CRASHBAR EGRESS HARDWARE		BLACK					3'-0" GATE ASSY	132.1
133.1	133	WEST HALL	C	STEEL	BLACK POWDER COAT	2"	5'-0"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, CRASHBAR EGRESS HARDWARE		BLACK					3'-0" GATE ASSY	133.1
134.1	134	STORAGE BUILDING	E	SIMPSON SOLID CORE SLAB OR EQUAL	CORDOBAN BROWN	1-3/4"	5'-8"	7'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		DARK BRONZE					PAIR 2'-10"	134.1
135.1	135	TRASH ENCLOSURE	D	2" TUBE STEEL	W/CORTEN STL PANELS	2"	10'-0"	8'-0"	SCHLAGE MTB15 ELECTRONIC READER SYSTEMS, ADA LEVERS		BLACK					PAIR 5'-0" GATES	135.1

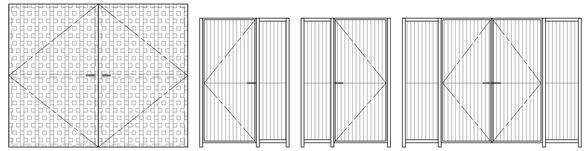
DOOR TYPES



WINDOW TYPES



GATE TYPES



DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS
DJA Architects, PLLC
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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

25 July 2025

Design Development

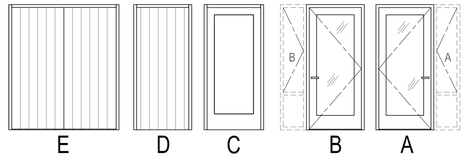
Door Schedule

A2.9

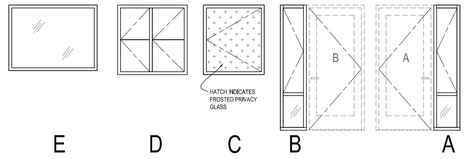
WINDOW SCHEDULE

WINDOW TAG	ROOM #	ROOM NAME	TYPE	MFR	FINISH	THICKNESS FRAME	NOMINAL WIDTH VERIFY RO	NOMINAL HT VERIFY RO	NOMINAL SILL HT VERIFY RO	NOMINAL HEAD HT VERIFY RO	GLASS TYPE	DIVIDED LITE PATTERN	U-VALUE	SHGC	REMARKS	WINDOW TAG
2.1	2	GATHERING SPACE	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	2.1
2.2			D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		2.2
2.3			D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		2.3
2.4			D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		2.4
2.5			D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		2.5
4.1	4	RESTROOM	C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	2'-0"	2'-0"	5'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		4.1
5.1	5	HALL	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	5.1
6.1	6	CHECK IN OFFICE	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	2'-0"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	6.1
6.2			E	FIXED GLAZING SET IN HOLLOW METAL FRAME	DARK BRONZE	2"	5'-0"	3'-0"	4'-0"	7'-0"	WUI, TG	NONE	N/A	N/A	INTERIOR WINDOW	6.2
7.1	7	SECURITY OFFICE	E	FIXED GLAZING SET IN HOLLOW METAL FRAME	DARK BRONZE	2"	5'-0"	3'-0"	4'-0"	7'-0"	WUI, TG	NONE	N/A	N/A	INTERIOR WINDOW	7.1
7.2			D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		7.2
8.1	8	OFFICE SUPPORT	D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		8.1
8.2			D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		8.2
11.1	11	MECHANICAL	D	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	4'-0"	4'-0"	3'-6"	7'-6"	WUI, TG	2 x 2	TBD	TBD		11.1
101.1	101	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	101.1
101.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		101.2
102.1	102	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	102.1
102.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		102.2
103.1	103	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	103.1
103.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		103.2
104.1	104	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	104.1
104.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		104.2
105.1	105	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	105.1
105.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		105.2
106.1	106	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	106.1
106.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		106.2
107.1	107	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	107.1
107.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		107.2
108.1	108	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	108.1
108.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		108.2
109.1	109	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	109.1
109.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		109.2
110.1	110	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	110.1
110.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		110.2
111.1	111	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	111.1
111.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		111.2
112.1	112	DOUBLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	112.1
112.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		112.2
112.3			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		112.3
113.1	113	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	113.1
113.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		113.2
114.1	114	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	114.1
114.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		114.2
115.1	115	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	115.1
115.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		115.2
116.1	116	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	116.1
116.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		116.2
117.1	117	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	117.1
117.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		117.2
118.1	118	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	118.1
118.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		118.2
119.1	119	DOUBLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	119.1
119.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		119.2
119.3			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		119.3
120.1	120	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	120.1
120.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		120.2
121.1	121	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	121.1
121.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		121.2
122.1	122	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	122.1
122.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		122.2
123.1	123	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	123.1
123.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		123.2
124.1	124	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	124.1
124.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		124.2
125.1	125	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	125.1
125.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		125.2
126.1	126	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	126.1
126.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		126.2
127.1	127	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	127.1
127.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		127.2
128.1	128	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	128.1
128.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		128.2
129.1	129	SINGLE UNIT	B	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	129.1
129.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		129.2
130.1	130	SINGLE UNIT	A	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	1'-10"	7'-0"		7'-0"	WUI, TG	NONE	TBD	TBD	STACKED/MULLED UNIT	130.1
130.2			C	PELLA IMPERVIA FIBER GLASS OR EQUAL	DARK BRONZE	2"	3'-6"	4'-0"	3'-0"	7'-0"	WUI, TG	NONE	TBD	TBD		130.2

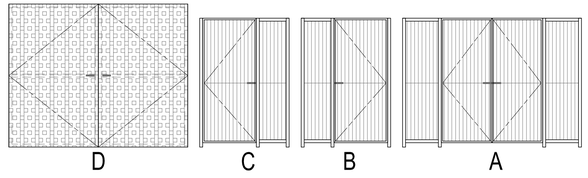
DOOR TYPES



WINDOW TYPES



GATE TYPES



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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

25 July 2025

Design Development

Window Schedule

A2.10

FINISH SCHEDULE

ROOM		FLOOR	CEILING	WALLS				REMARKS
#	NAME			NORTH	SOUTH	EAST	WEST	
01	ENTRY HALL	SEALED CONC	OPEN TO STRCT, VAULTED	-	-	STUCCO	STUCCO	UNCONDITIONED SPACE
02	GATHERING SPACE	SEALED CONC	OPEN TO STRCT, VAULTED	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
03	PANTRY	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
04	RESTROOM	SEALED CONC	PAINTED INTERIOR PANELS	FRP	FRP	FRP	FRP	
05	HALL	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
06	CHECK IN OFFICE	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
07	SECURITY OFFICE	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
08	SUPPORT OFFICE	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
09	RESTROOM	SEALED CONC	PAINTED INTERIOR PANELS	FRP	FRP	FRP	FRP	
10	LAUNDRY	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
101-130	SINGLE/DOUBLE	SEALED CONC	PAINTED INTERIOR PANELS	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	
101R-130R	ENSUITE RESTROOMS	SEALED CONC	PAINTED INTERIOR PANELS	FRP	FRP	FRP	FRP	
134	STORAGE BUILDING	SEALED CONC	OPEN TO STRCT	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	PAINTED COMPRESSED STRAW PANEL	UNCONDITIONED SPACE
135	TRASH ENCLOSURE	SEALED CONC	N/A	PAINTED	PAINTED	PAINTED	PAINTED	UNCONDITIONED SPACE

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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407

Revisions:

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25 July 2025

Design Development

Schedules

A2.11

MATERIALS LEGEND

- COMPRESSED STRAW PANEL
- FIBER CEMENT PANEL
- PLYWOOD
- INTERIOR WOOD PANELING
- GYPSUM BOARD (GWB)
- WATER AND AIR BARRIER (WAB)
- POLYETHYLENE BUILDING WRAP (PBW)
- LIQUID APPLIED WATER & AIR BARRIER (LWAB) / BITUMINOUS DAMPRPOOFING (BDP)
- SELF ADHERED FLASHING (SAF)
- THERMOPLASTIC ROOFING MEMBRANE (TMR)
- VAPOR RETARDER (VR)
- WOOD FRAMING SILL SEALER
- ACOUSTIC CEILING TILE (ACT)
- CARPET (CPT)
- MORTAR NET
- DRAINAGE MAT (DM)
- BENTONITE WATERPROOFING (BWP-1)
- GEOTEXTILE FABRIC

- EARTH
- CAPPILARY BREAK
- CONCRETE
- PLASTER
- FROSTED PRIVACY GLASS
- INSUL 1
- INSUL 2
- INSUL 3
- FIBERGLASS
- WOOD FRAMING / SHIM
- WOOD FRAMING / DIMENSIONAL LUMBER

ASSEMBLY KEYNOTE LEGEND

GENERAL NOTES:
1. SEE A0.1 FOR ABBREVIATIONS.
2. SEE OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. ALL MATERIALS AND SYSTEMS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
4. GENERAL CONTRACTOR TO SEAL ALL PENETRATIONS AND PROVIDE WEATHER TIGHT BUILDING ENVELOPE.
5. SEAL PERIMETER OF ACOUSTIC WALLS WITH NON-HARDENING MASTIC.
6. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS WITH NON-HARDENING MASTIC.
7. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS @ ACOUSTIC WALL @ MIN. (2) STUD BAYS.
8. SEE INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE FOR ADDL WALL FINISHES.

0: WALLS

REF	ASSEMBLY DESCRIPTION
01	EXTERIOR WALL: STUCCO FINISH (LA HABRA SMOOTH, SANTA BARBARA FINISH, COLOR P-6 EL DORADO COLOR) O/WATER AND AIR BARRIER, O/COMPRESSED STRAW PANELS, O/FRAMING PER STRUCTURAL WITH INSUL 1 AT STUD CAVITY WITH PAINTED COMPRESSED STRAW PANELS AT INTERIOR FINISH SIDE. NOTE: SEE OUTLINE SPECIFICATIONS FOR WALL ASSEMBLY BID ALTERNATES.
02	TRASH ENCLOSURE WALL: STUCCO TO MATCH WALL TYPE 01 O/REINFORCED 8" CMU BLOCK WITH PAINT ON INTERIOR FACE.

10: ROOFS

REF	ASSEMBLY DESCRIPTION
10	TYPICAL CLAY TILE ROOFING O/ CLASS A ROOFING MEMBRANE ASSEMBLY O/COMPRESSED STRAW PANELS O/TRUSSES PER STRUCTRUAL. NOTE: SEE OUTLINE SPECIFICATIONS FOR ROOF ASSEMBLY BID ALTERNATES.
11	GATHERING SPACE CLAY TILE ROOFING O/ CLASS A ROOFING MEMBRANE ASSEMBLY O/COMPRESSED STRAW PANELS O/2X6 PURLINS WITH 5.5" CLOSED CELL SPPAY FOAM O/PAINTED COMPRESSED STRAW PANELS AT INTERIOR FINISH SIDE, O/EXPOSED FRAMING PER STRUCTURAL. NOTE: SEE OUTLINE SPECIFICATIONS FOR ROOF ASSEMBLY BID ALTERNATES.

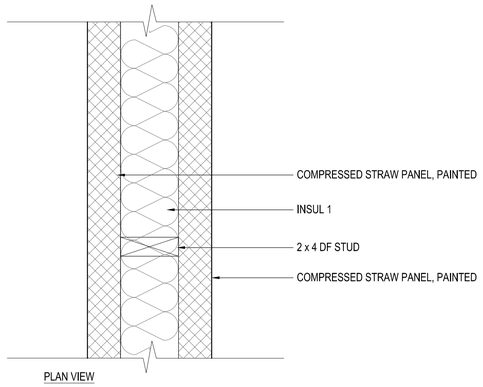
20: FLOORS

REF	ASSEMBLY DESCRIPTION
20	HARD TROWELED CONCRETE FLOORS WITH "GLAZE AND SEAL WET LOOK GREEN" WATER-BASED LACQUER FINISH. SAW-CUT ⅛" CONTROL JOINTS, LOCATE CONTROL JOINTS UNDER PARTITION WALLS AND COORDINATE ALL LOCATIONS WITH ARCHITECT THROUGH SUBMITTAL PROCESS.

30: CEILINGS AND SOFFITS

REF	ASSEMBLY DESCRIPTION
30	PAINTED COMPRESSED STRAW PANELS O/ STRUCTURE.
31	PAINTED COMPRESSED STRAW PANELS O/ STRUCTURE WITH SOFFIT VENT.

INTERIOR WALL TYPE LEGEND



PLAN VIEW

A WALL TYPE A: 1 HOUR RATED ACOUSTIC PARTITION

NOTES:
1. SEAL PERIMETER OF ACOUSTIC WALLS WITH NON-HARDENING MASTIC.
2. SEAL ALL MECHANICAL AND ELECTRICAL PENETRATIONS WITH NON-HARDENING MASTIC.
3. STAGGER MECHANICAL AND ELECTRICAL PENETRATIONS AT ACOUSTIC WALL MIN (2) STUD BAYS.
4. DO NOT CONNECT STAGGERED STUDS.
5. PROVIDE INTUMESCENT SEALANT AT PANEL JOINTS PER MANUFACTURER'S REQUIREMENTS TO MAINTAIN 1-HOUR RATING.

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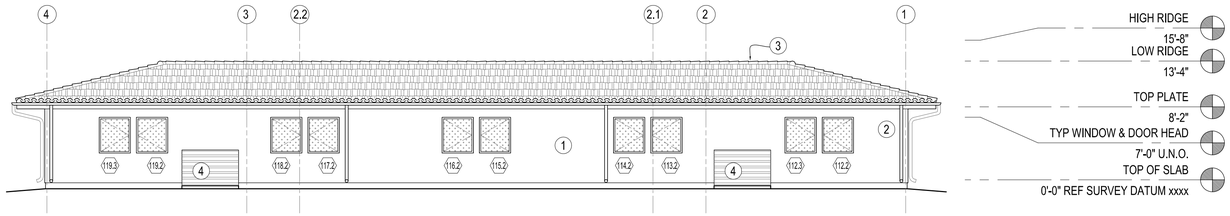
Design Development

Assembly Keynote Legend

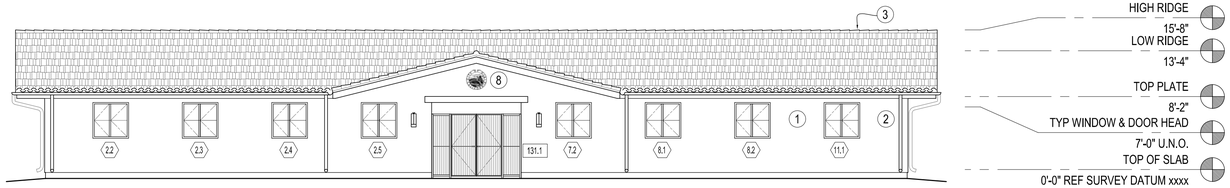
A3.0



SOUTH ELEVATION

4 A3.1

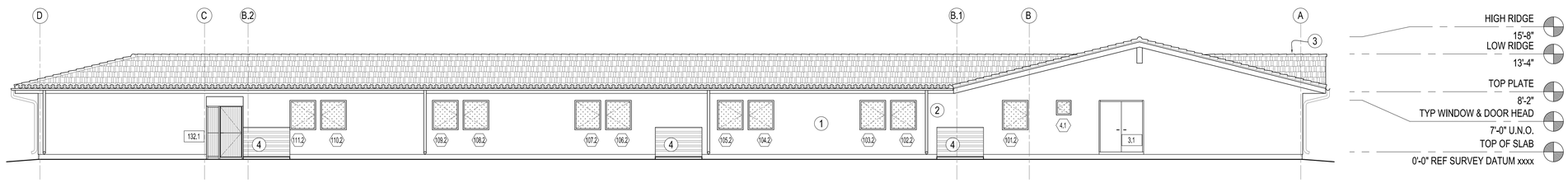
1/8" = 1'-0"



NORTH ELEVATION

3 A3.1

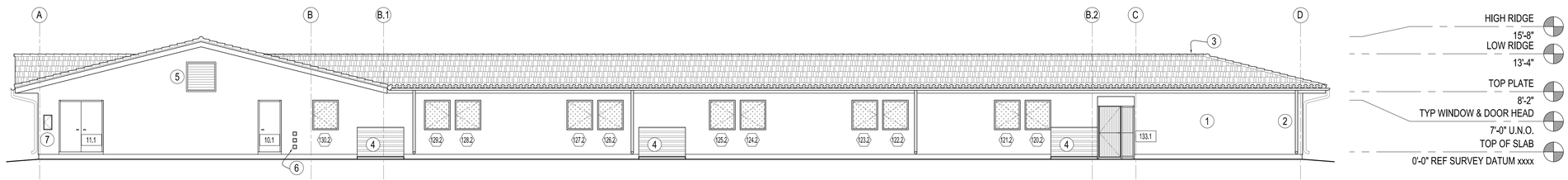
1/8" = 1'-0"



EAST ELEVATION

2 A3.1

1/8" = 1'-0"



WEST ELEVATION

1 A3.1

1/8" = 1'-0"

ELEVATION KEY NOTES

1. STUCCO, SEE A3.0
2. GUTTER AND DOWNSPOUT
3. ROOFING, SEE A3.0
4. NON-COMBUSTIBLE HVAC SCREEN
5. GABLE VENT, SEE A2.3
6. DRYER VENT
7. ELECTRIC METER
8. ENTRY SIGN

ELEVATION GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS.

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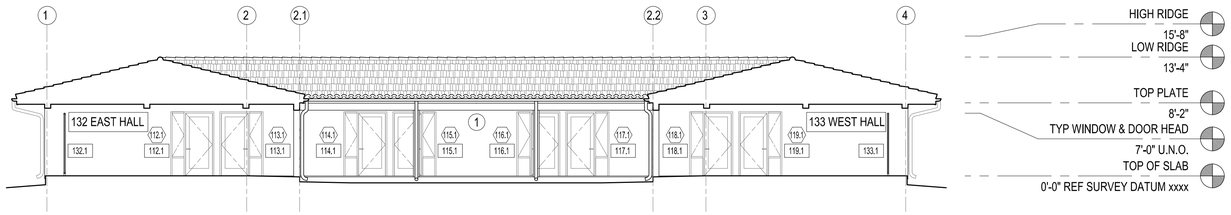
Design Development

Exterior Elevations

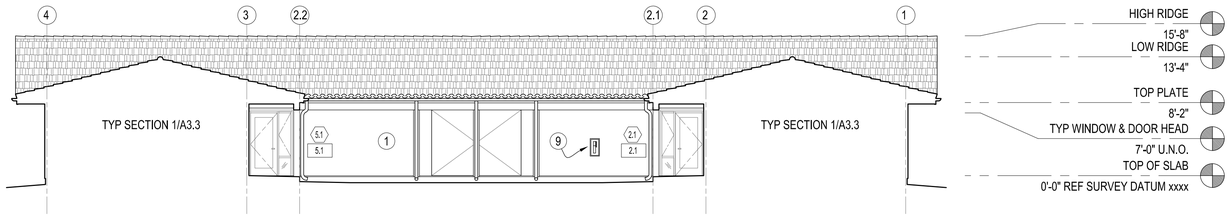
A3.1



SOUTH COURTYARD/ARCADE ELEVATION

3 A3.1

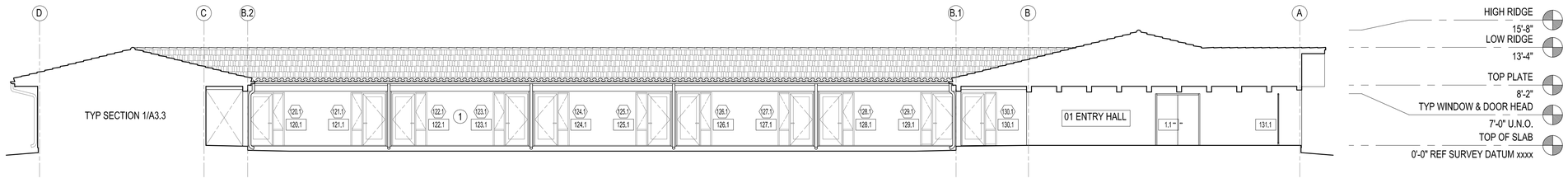
1/8" = 1'-0"



NORTH COURTYARD/ARCADE ELEVATION

2 A3.1

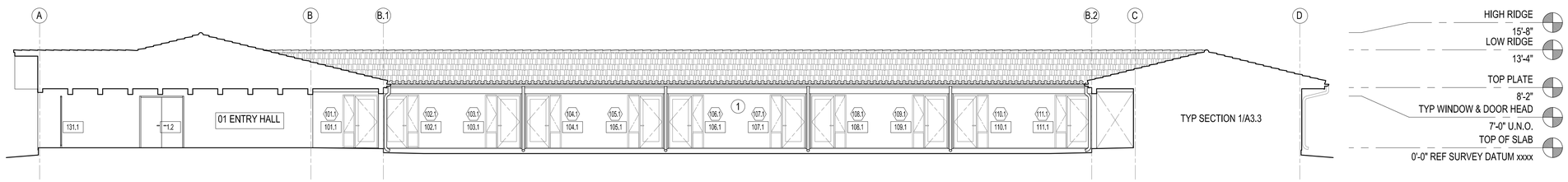
1/8" = 1'-0"



WEST COURTYARD/ARCADE ELEVATION

1 A3.1

1/8" = 1'-0"



EAST COURTYARD/ARCADE ELEVATION

1 A3.1

1/8" = 1'-0"

ELEVATION KEY NOTES

1. STUCCO, SEE A3.0
2. GUTTER AND DOWNSPOUT
3. ROOFING, SEE A3.0
4. NON-COMBUSTIBLE HVAC SCREEN
5. GABLE VENT, SEE A2.3
6. DRYER VENT
7. ELECTRIC METER
8. ENTRY SIGN
9. FEC

ELEVATION GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. HVAC UNITS AT BUILDING EXTERIOR ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS.

DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

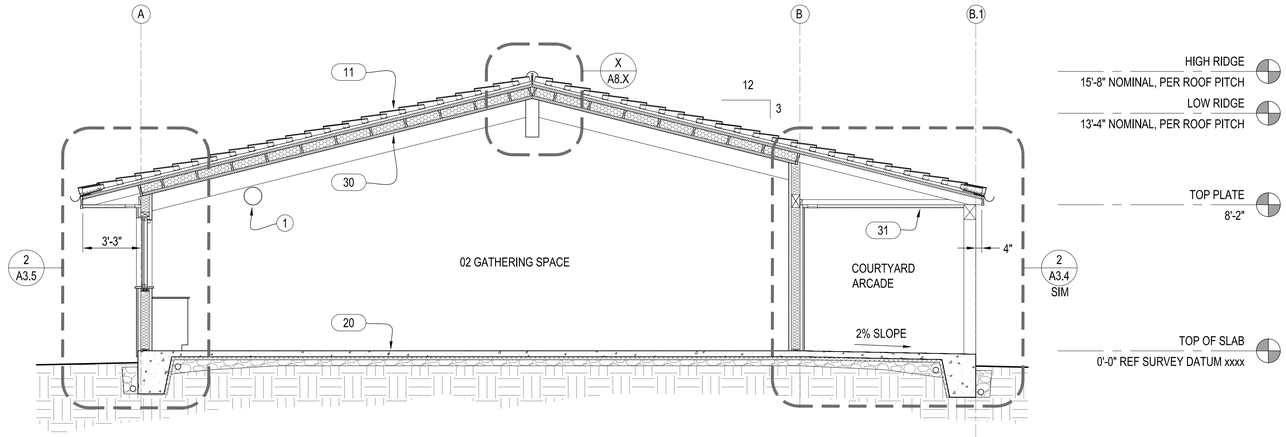
NOT FOR CONSTRUCTION

25 July 2025

Design Development

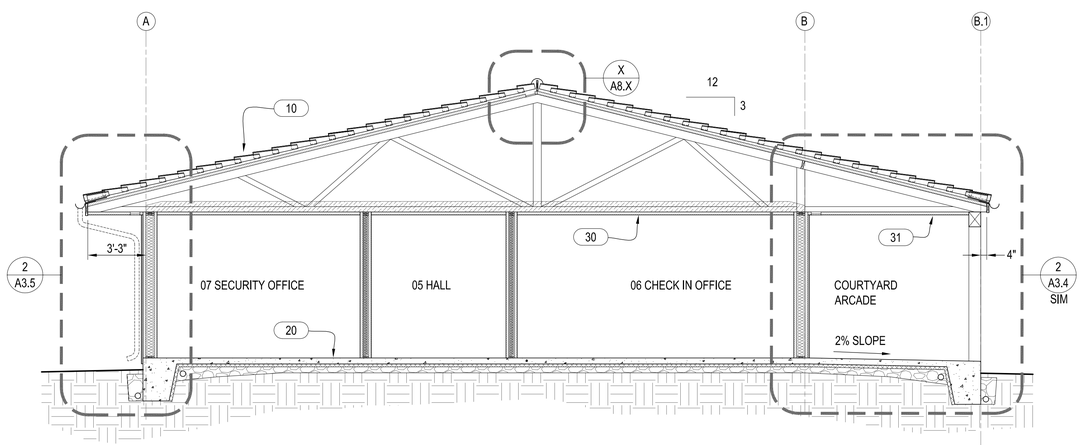
Exterior Elevations

A3.2



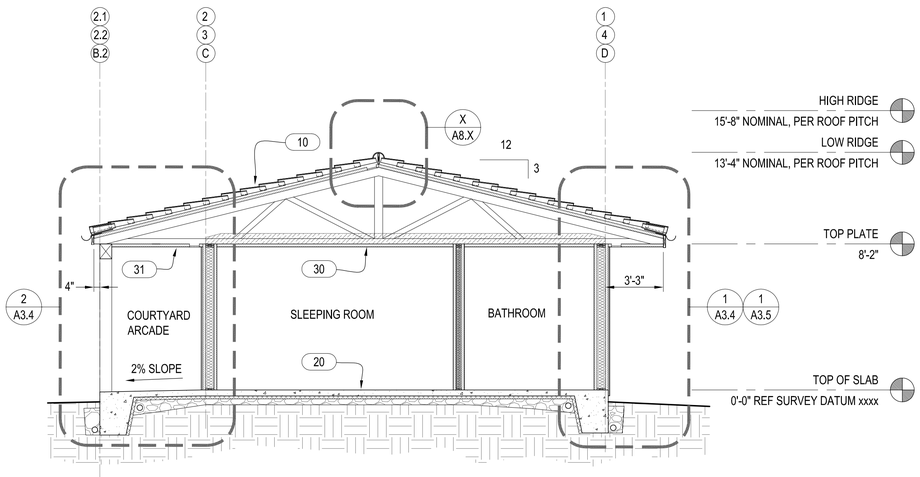
4 A3.3 BUILDING SECTION

1/4" = 1'-0"



2 A3.3 BUILDING SECTION

1/4" = 1'-0"



1 A3.3 TYPICAL BUILDING SECTION

1/4" = 1'-0"

SECTION GENERAL NOTES:

1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. BUILDINGS TO COMPLY WITH CALIFORNIA BUILDING CODE CHAPTER 7A MATERIALS AND CONSTRUCTION METHODS FOR WILDFIRE EXPOSURE.
3. GRIDLINE INDICATES FACE OF FRAMING, SEE STRUCTURAL.
4. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.

SECTION KEY NOTES

(1) HVAC DUCT, SEE MECHANICAL DRAWINGS

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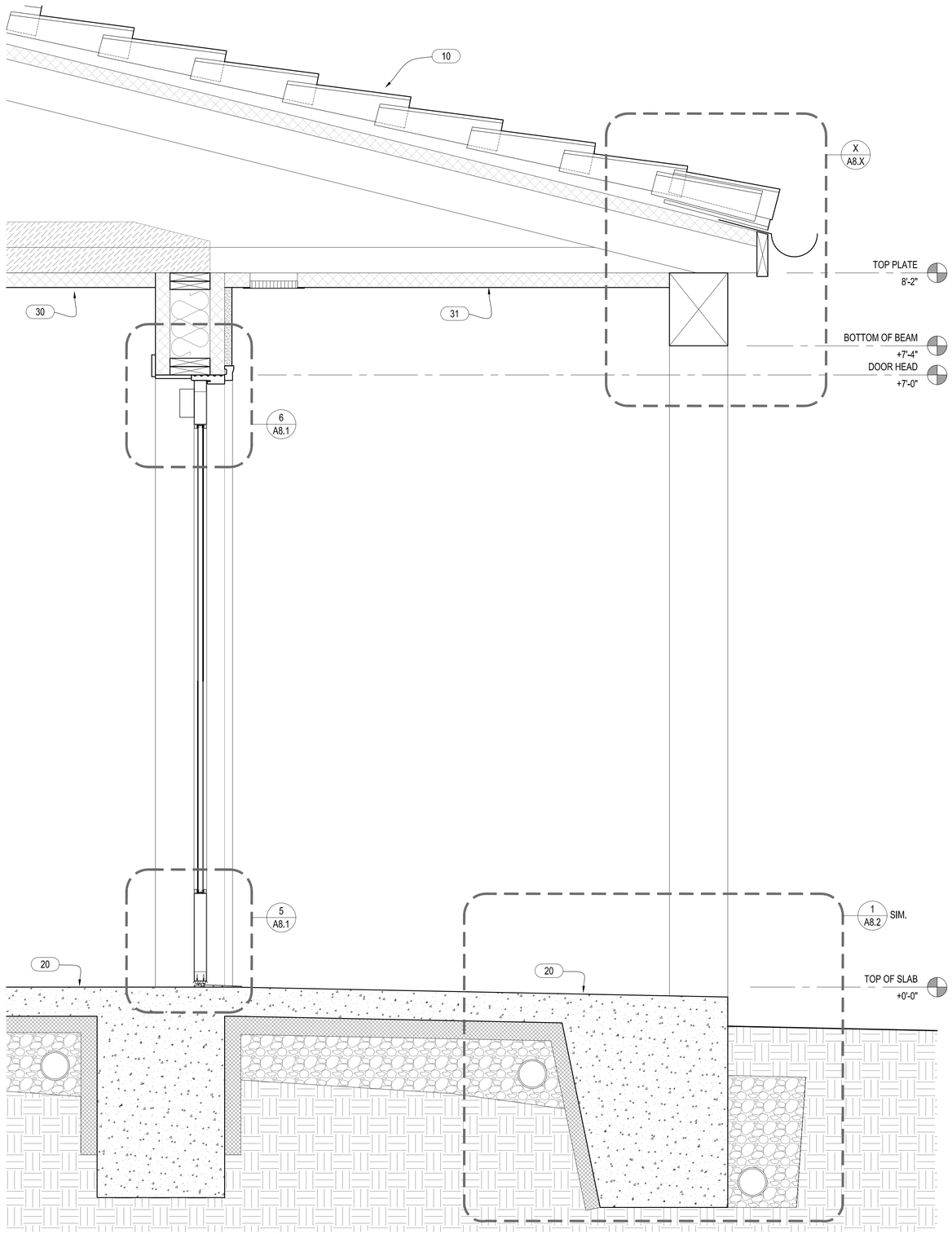
Design Development

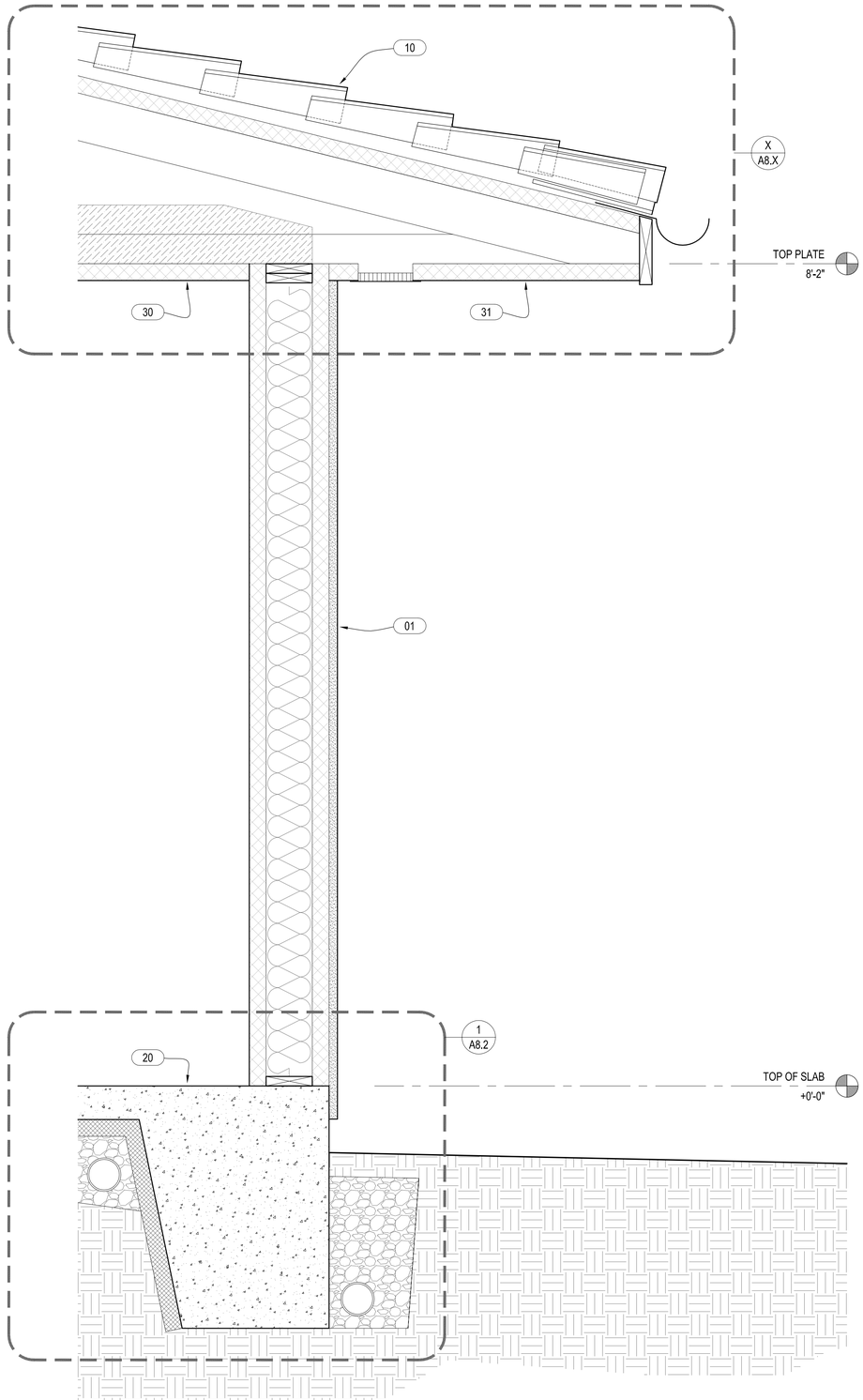
Building Sections

A3.3



2 A3.4 WALL SECTION @ DOOR

1 1/2" = 1'-0"



1 A3.4 WALL SECTION - TYPICAL

1 1/2" = 1'-0"

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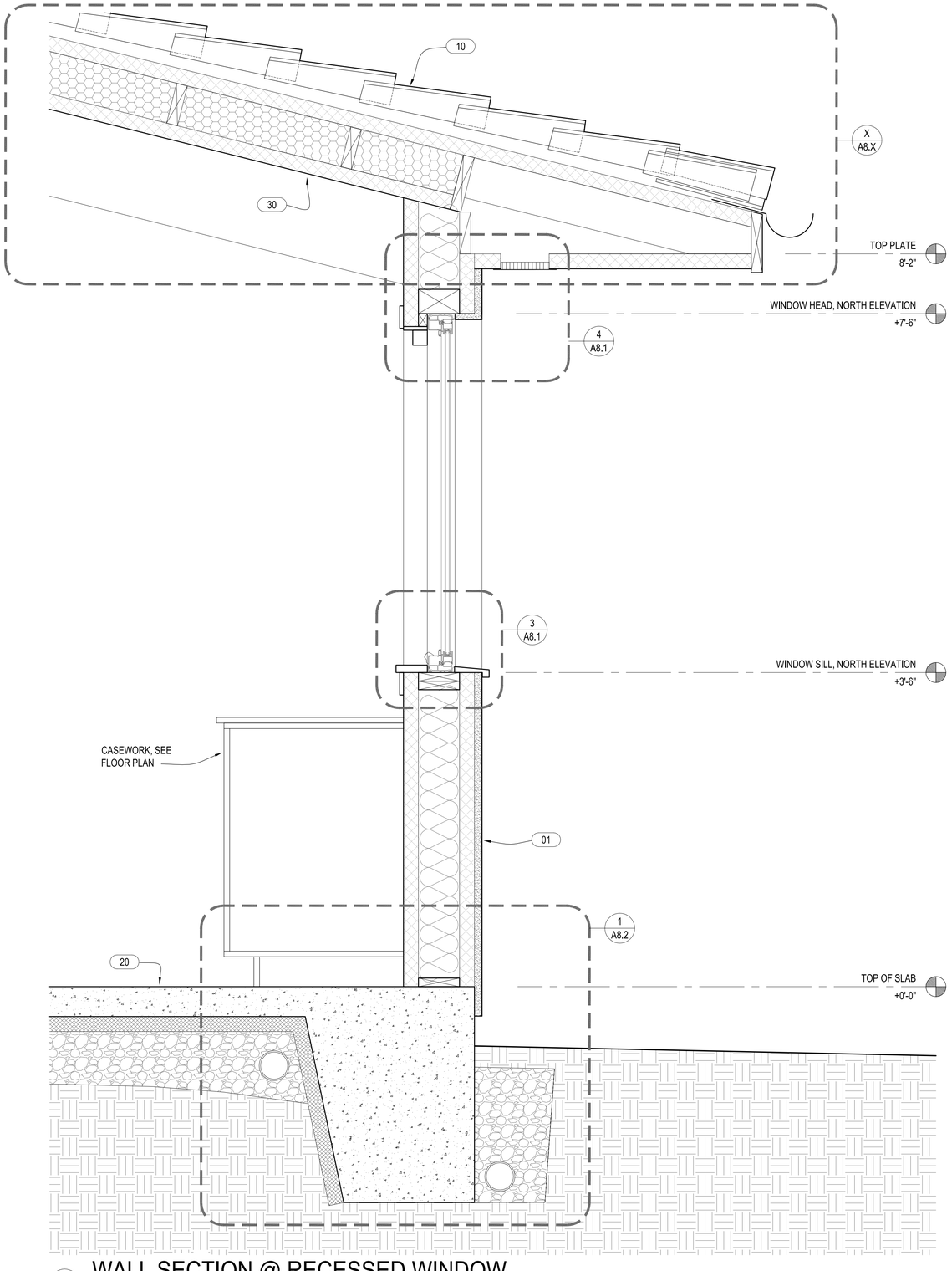
Design Development

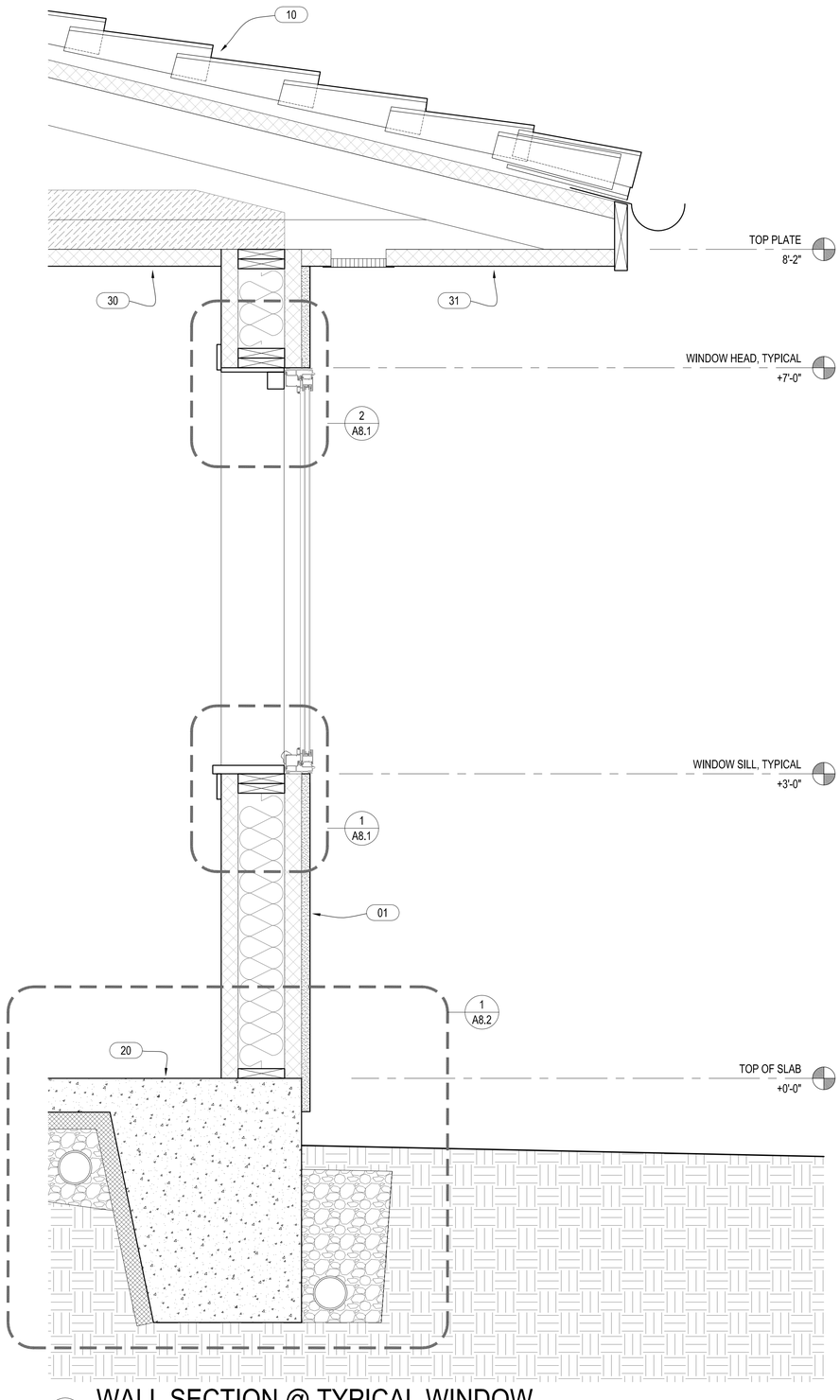
Wall Sections

A3.4



2 A3.5 WALL SECTION @ RECESSED WINDOW

1 1/2" = 1'-0"



1 A3.5 WALL SECTION @ TYPICAL WINDOW

1 1/2" = 1'-0"

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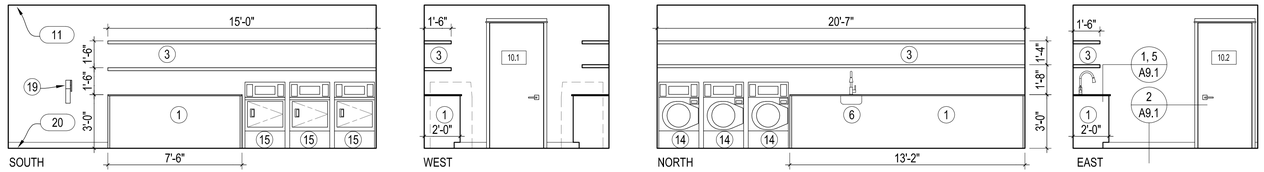
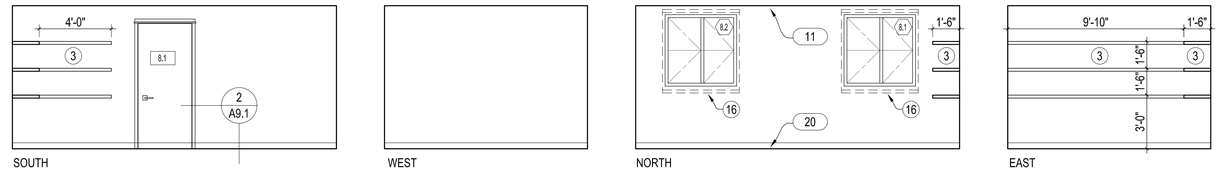
Design Development

Wall Sections

A3.5



7 A5.1 **10 LAUNDRY ROOM**
1/4" = 1'-0"



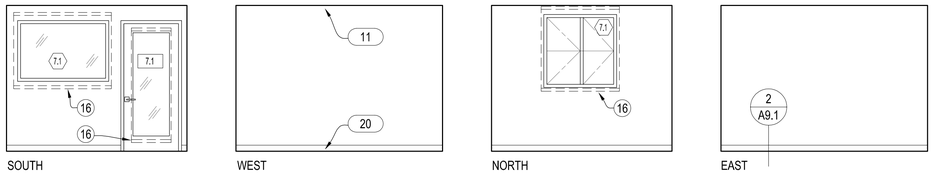
6 A5.1 **08 SUPPORT OFFICE**
1/4" = 1'-0"

INTERIOR ELEVATION GENERAL NOTES:

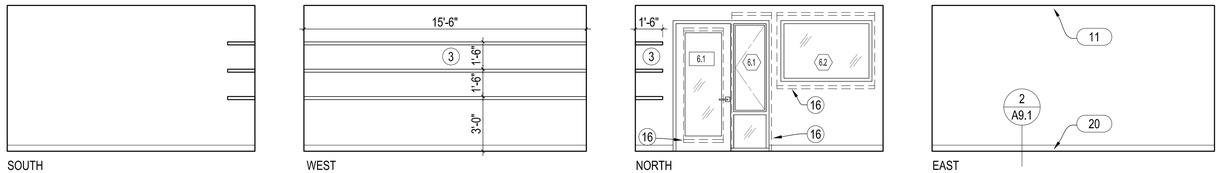
1. DESIGN DEVELOPMENT DRAWINGS ARE INTENDED FOR RFP PRICING AND NOT FOR CONSTRUCTION. FOLLOWING CONTRACTOR SELECTION PROCESS, DRAWINGS AND SPECIFICATIONS WILL BE PREPARED FOR PERMITTING AND CONSTRUCTION.
2. SEE ARCHITECTURAL OUTLINE SPECIFICATIONS FOR ADDITIONAL PRODUCT AND MATERIAL INFORMATION.
3. SEE A3.0 FOR ASSEMBLY KEYNOTE LEGEND.
4. SEE A0.2 FOR CODE COMPLIANCE AND ACCESSIBILITY REQUIREMENTS.
5. PROVIDE WINDOW COVERINGS AT ALL GLAZING.
6. SEE A6.1, A6.2 AND ELECTRICAL DRAWINGS FOR OUTLETS.

INTERIOR ELEVATION KEY NOTES

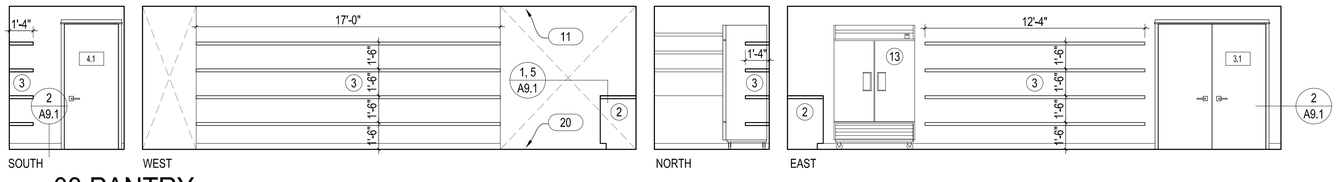
1. INTERIOR CASEWORK, ADA ACCESSIBLE
2. INTERIOR CASEWORK, LOWER CABINETS
3. OPEN SHELVING
4. DISHWASHER
5. SINK WITH UNDERSINK DISPOSAL
6. UTILITY SINK
7. MOP SINK
8. FLOOR DRAIN
9. DRINKING FOUNTAIN WITH CANE GUARD AND ADA CLEARANCES
10. HVAC DUCT, SEE MECHANICAL
11. HVAC, PAD AND ENCLOSURE, SEE MECHANICAL DRAWINGS
12. REFRIGERATOR
13. FREEZER
14. WASHING MACHINE
15. DRYER
16. WINDOW COVERING
17. MOTORIZED SCREEN, SEE ELECTRICAL DRAWINGS
18. HVAC GRILLE, SEE MECHANICAL DRAWINGS
19. FIRE EXTINGUISHER ON BRACKET
20. FEC



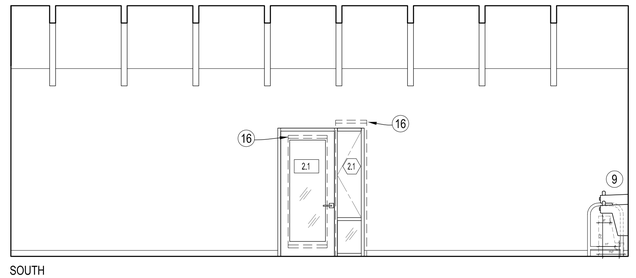
5 A5.1 **07 SECURITY OFFICE**
1/4" = 1'-0"



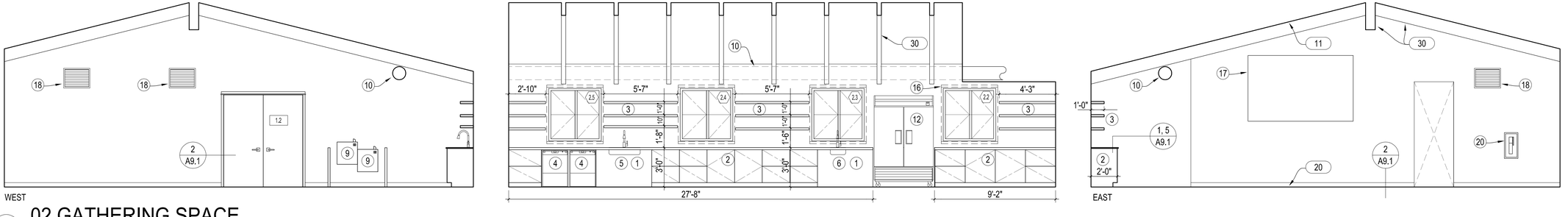
4 A5.1 **06 CHECK IN OFFICE**
1/4" = 1'-0"



3 A5.1 **03 PANTRY**
1/4" = 1'-0"



2 A5.1 **02 GATHERING SPACE (CONT.)**
1/4" = 1'-0"



1 A5.1 **02 GATHERING SPACE**
1/4" = 1'-0"

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Checked By:
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Revisions:

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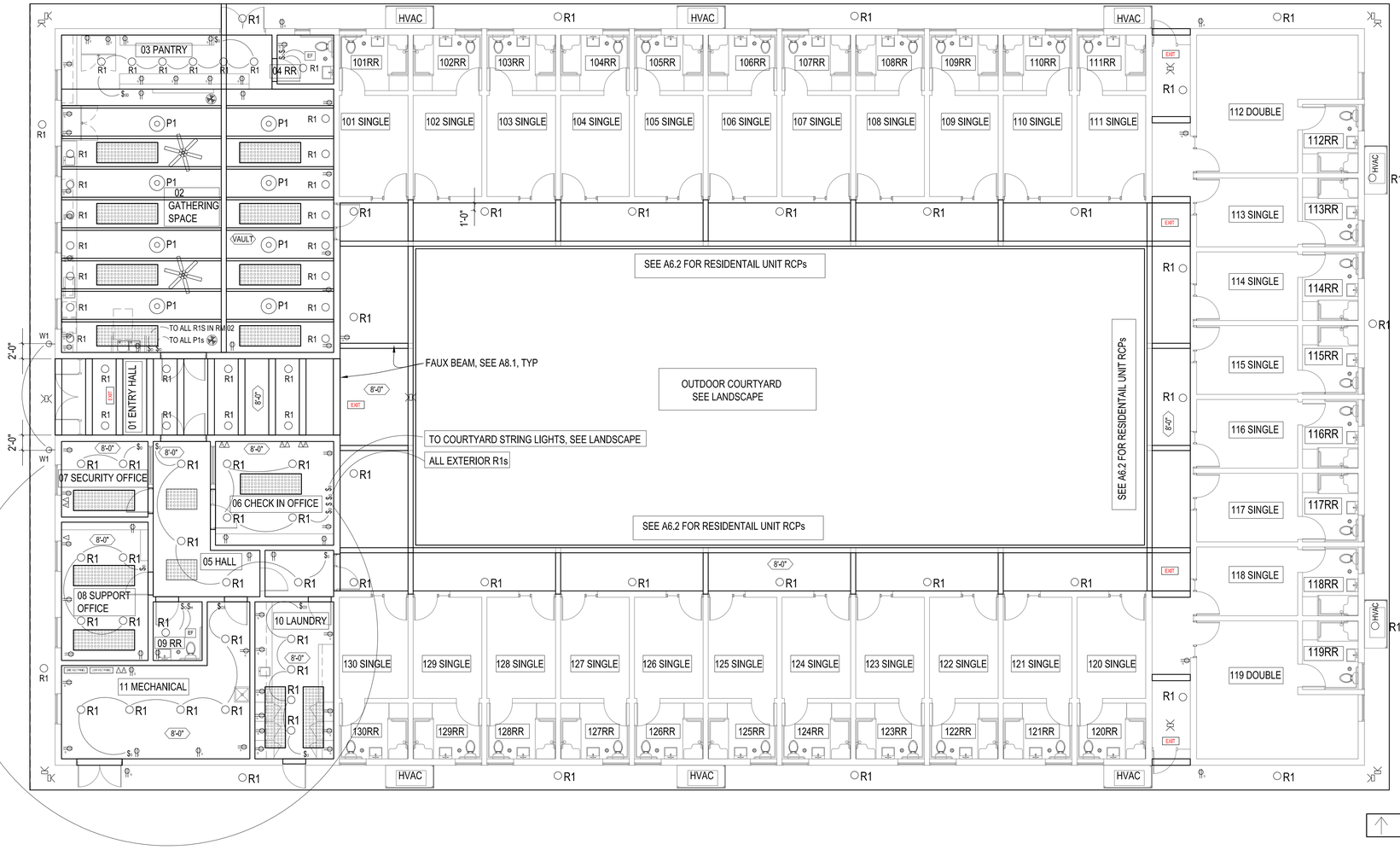
NOT FOR CONSTRUCTION

25 July 2025

Design Development

Interior Elevations

A5.1



1 A6.1 REFLECTED CEILING PLAN

1/8" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES:

1. RCP FOR FIXTURE AND DEVICE LAYOUT, SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. SEE A6.2 FOR TYPICAL RESIDENTIAL UNIT RCPS
3. ALL SPACES CEILING HEIGHT 8'-0" AFF UNO (GATHERING SPACE IS VAULTED, OPEN TO STRUCTURE)
4. ALL SOFFITS 8'-0" AFF UNO, SEE A8.1 FOR CORBEL DETAILS
5. SPRINKLER SYSTEM NOT SHOWN. TO BE PROVIDED DESIGN-BUILD UNDER DEFERRED SUBMITTAL. PROVIDE COORDINATION DRAWING WITH RCPS.
6. SEE ENERGY DOCUMENTATION FOR MINIMUM PERFORMANCE STANDARDS.
7. ALL LUMINAIRES TO BE LED, DIMMABLE, 2700K 90+ CRI.
8. SEE A2.9 FOR DEVICE SCHEDULES.
9. UNO, FIXTURES TO BE INSTALLED ALIGNED WITH ONE ANOTHER AND CENTERED BETWEEN STRUCTURE AND/OR WALLS.
10. SEE STRUCTURAL DRAWINGS FOR BEAM SIZES AND CLEAR HEADROOM BELOW BEAMS.
11. AT GATHERING AREA COUNTERTOPS, PROVIDE EQUALLY SPACED GFCI OUTLETS AT 24" O.C.
12. ALL CONDUIT, PIPING AND DUCTWORK TO BE CONCEALED.
13. SEE A3.0 FOR ASSEMBLY KEYNOTE SCHEDULE.
14. LAYOUT OF GENERAL USE DUPLEX OUTLETS ARE SHOWN. ELECTRICAL SYSTEM SHALL INCLUDE POWER SUPPLY TO APPLIANCES AND MECHANICAL SYSTEM AS REQUIRED. PROVIDE GFCI OUTLETS AND WEATHER PROTECTION PER 2022 CEC.
15. MANUFACTURER'S LITERATURE SHOWING PROPOSED LED AND/OR LOW VOLTAGE LIGHT FIXTURES ARE HIGH EFFICACY AND CALIFORNIA CERTIFIED IS TO BE ON-SITE AT TIME OF FIELD INSPECTION.
16. FIRESTOP ALL PENETRATIONS IN RATED WALLS SEPARATING UNITS.
17. PROVIDE GFCI PROTECTION TO ALL 120V RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, GATHERING SPACE, MECHANICAL, STORAGE BUILDING AND LAUNDRY.
18. PROVIDE GFCI PROTECTION FOR DISHWASHER OUTLETS.
19. PROVIDE OCCUPANCY AND HUMIDITY SENSORS PER CEC.
20. PROVIDE TIMERS AS REQUIRED BY CODE FOR OUTDOOR FIXTURES.
21. PROVIDE MINIMUM QNTY OF GENERAL USE OUTLETS EVERY 6' ALONG WALLS OF OFFICES, HALLS, MECHANICAL AND LAUNDRY.
22. ALL PENETRATIONS AT RATED WALLS AND CEILINGS TO BE FIRESTOPPED AND SEALED TO MAINTAIN REQUIRED FIRE RESISTANCE RATING.

ELECRICAL FIXTURE AND DEVICE LEGEND

- R1 — RECESSED FIXTURE 1 - FIRE RATED DISK 4" DISK LIGHT, DIMMABLE, 2700K 90+ CRI., WET RATED - DARK SKY COMPLIANT, CENTER IN ROOM, BETWEEN STRCT, OR MOUNT 24" OFF WALL UNO
- W1 — EXTERIOR WALL MOUNTED SCONCE
- P1 — PENDANTS, MILLENNIUM LIGHTING RWHC17R, MATTE BLACK FINISH, 2700K HALF MIRROR BULBS, MOUNT BOTTOM OF FIXTURE 7'-0" AFF, CENTER BETWEEN STRCT
- 5'-0" Ø CEILING FAN
- $D — WALL SWITCH , MOUNT CENTER AT 48" AFF (SUBSCRIPT "D" INDICATES DIMMER,TYP)
- $3 — WALL SWITCH (3 WAY) , MOUNT CENTER AT 48" AFF
- $T — WALL SWITCH (TIMER), MOUNT CENTER AT 48" AFF
- $H — WALL SWITCH - HUMIDITY SENSOR
- $O — WALL SWITCH - OCCUPANCY SENSOR
- TAMPER RESISTANT GENERAL USE DUPLEX OUTLET MOUNT TOP CENTER AT 12" AFF (36" AFF WHEN ABV COUNTERTOP)
- TAMPER RESISTANT FLOOR OUTLET
- TAMPER RESISTANT GFCI OUTLET, PROVIDE POST-MOUNTED UL LISTED COVER AT EXTERIOR
- SMOKE & CARBON MONOXIDE ALARM, INTERCONNECTED
- DATA OUTLET
- TELEPHONE JACK
- HARDWIRED SECURITY CAMERA, REVIEW COVERAGE WITH OWNER
- EXIT — EXIT SIGN
- LINE VOLT PANEL / LOW VOLT PANEL — ELEC PANEL, SEE ELECTRICAL DRAWINGS
- ACCOUSTIC PANEL

HVAC LEGEND SEE MECHANICAL DRAWINGS FOR ADDL INFORMATION

- EF — EXHAUST FAN, SEE MECHANICAL DRAWINGS
- WALL MOUNTED MINI SPLIT

DIGNITYMOVES
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Revisions:

No.	Date	By

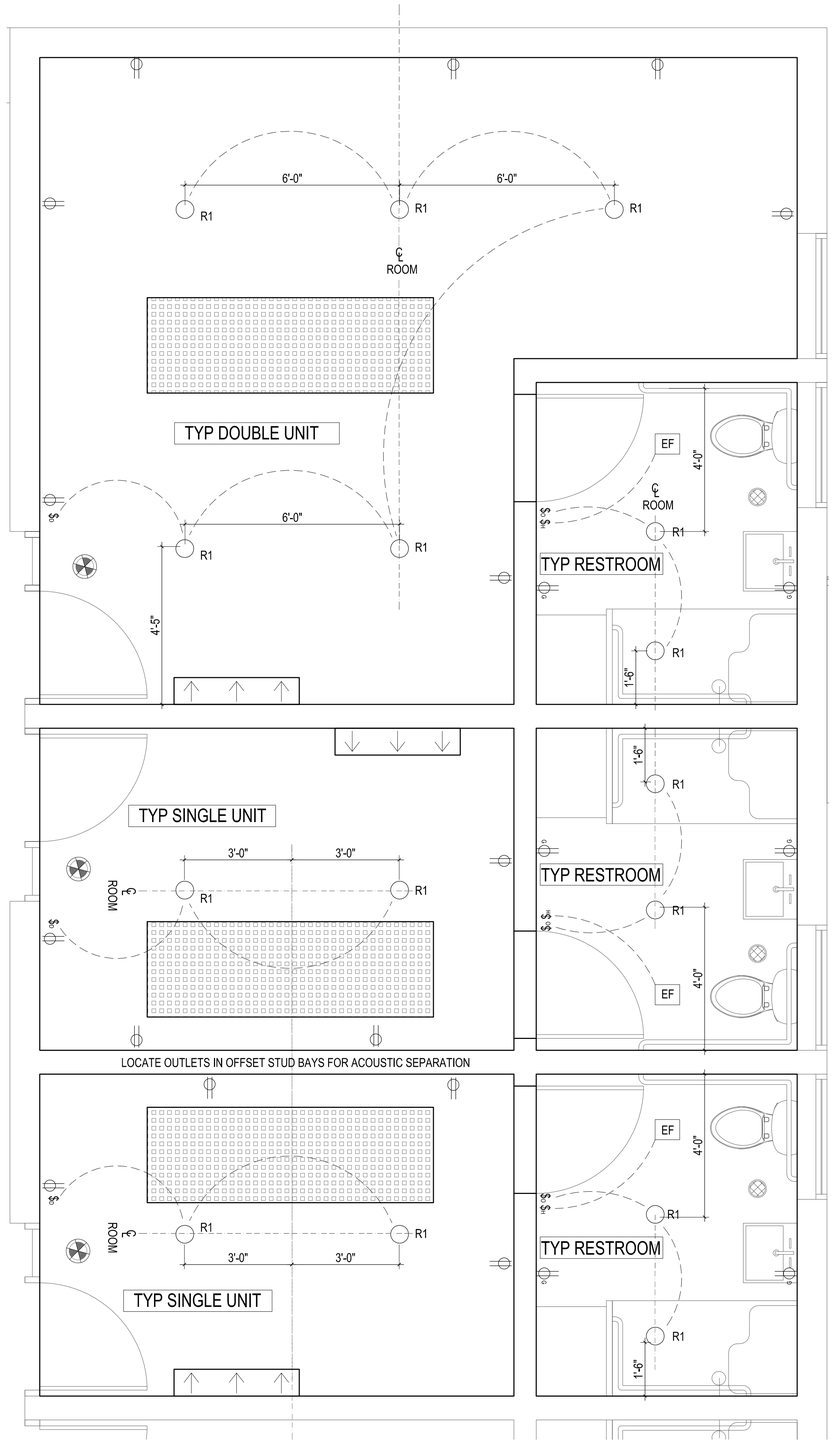
NOT FOR CONSTRUCTION

25 July 2025

Design Development

Reflected Ceiling Plan

A6.1



1 A6.2 ENLARGED REFLECTED CEILING PLAN

1/2" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES:

1. RCP FOR FIXTURE AND DEVICE LAYOUT, SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. SEE A6.2 FOR TYPICAL RESIDENTIAL UNIT RCPS
3. ALL SPACES CEILING HEIGHT 8'-0" AFF UNO (GATHERING SPACE IS VAULTED, OPEN TO STRUCTURE)
4. ALL SOFFITS 8'-0" AFF UNO, SEE A8.1 FOR CORBEL DETAILS
5. SPRINKLER SYSTEM NOT SHOWN. TO BE PROVIDED DESIGN-BUILD UNDER DEFERRED SUBMITTAL. PROVIDE COORDINATION DRAWING WITH RCPS.
6. SEE ENERGY DOCUMENTATION FOR MINIMUM PERFORMANCE STANDARDS.
7. ALL LUMINAIRES TO BE LED, DIMMABLE, 2700K 90+ CRI.
8. SEE A2.9 FOR DEVICE SCHEDULES.
9. UNO, FIXTURES TO BE INSTALLED ALIGNED WITH ONE ANOTHER AND CENTERED BETWEEN STRUCTURE AND/OR WALLS.
10. SEE STRUCTURAL DRAWINGS FOR BEAM SIZES AND CLEAR HEADROOM BELOW BEAMS.
11. AT GATHERING AREA COUNTERTOPS, PROVIDE EQUALLY SPACED GFCI OUTLETS AT 24" O.C.
12. ALL CONDUIT, PIPING AND DUCTWORK TO BE CONCEALED.
13. SEE A3.0 FOR ASSEMBLY KEYNOTE SCHEDULE.
14. LAYOUT OF GENERAL USE DUPLEX OUTLETS ARE SHOWN. ELECTRICAL SYSTEM SHALL INCLUDE POWER SUPPLY TO APPLIANCES AND MECHANICAL SYSTEM AS REQUIRED. PROVIDE GFCI OUTLETS AND WEATHER PROTECTION PER 2022 CEC.
15. MANUFACTURER'S LITERATURE SHOWING PROPOSED LED AND/OR LOW VOLTAGE LIGHT FIXTURES ARE HIGH EFFICACY AND CALIFORNIA CERTIFIED IS TO BE ON-SITE AT TIME OF FIELD INSPECTION.
16. FIRESTOP ALL PENETRATIONS IN RATED WALLS SEPARATING UNITS.
17. PROVIDE GFCI PROTECTION TO ALL 120V RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, GATHERING SPACE, MECHANICAL, STORAGE BUILDING AND LAUNDRY.
18. PROVIDE GFCI PROTECTION FOR DISHWASHER OUTLETS.
19. PROVIDE OCCUPANCY AND HUMIDITY SENSORS PER CEC.
20. PROVIDE TIMERS AS REQUIRED BY CODE FOR OUTDOOR FIXTURES.
21. PROVIDE MINIMUM QNTY OF GENERAL USE OUTLETS EVERY 6' ALONG WALLS OF OFFICES, HALLS, MECHANICAL AND LAUNDRY.
22. ALL PENETRATIONS AT RATED WALLS AND CEILINGS TO BE FIRESTOPPED AND SEALED TO MAINTAIN REQUIRED FIRE RESISTANCE RATING.

ELECRICAL FIXTURE AND DEVICE LEGEND

- R1 — RECESSED FIXTURE 1 - FIRE RATED DISK 4" DISK LIGHT, DIMMABLE, 2700K 90+ CRI., WET RATED - DARK SKY COMPLIANT, CENTER IN ROOM, BETWEEN STRCT, OR MOUNT 24" OFF WALL UNO
- W1 — EXTERIOR WALL MOUNTED SCONCE
- P1 — PENDANTS, MILLENNIUM LIGHTING RWHC17R, MATTE BLACK FINISH, 2700K HALF MIRROR BULBS, MOUNT BOTTOM OF FIXTURE 7'-0" AFF, CENTER BETWEEN STRCT
- 5'-0" Ø CEILING FAN
- $S — WALL SWITCH , MOUNT CENTER AT 48" AFF (SUBSCRIPT "D" INDICATES DIMMER,TYP)
- $3 — WALL SWITCH (3 WAY) , MOUNT CENTER AT 48" AFF
- $T — WALL SWITCH (TIMER), MOUNT CENTER AT 48" AFF
- $H — WALL SWITCH - HUMIDITY SENSOR
- $O — WALL SWITCH - OCCUPANCY SENSOR
- TAMPER RESISTANT GENERAL USE DUPLEX OUTLET MOUNT TOP CENTER AT 12" AFF (36" AFF WHEN ABV COUNTERTOP)
- F — TAMPER RESISTANT FLOOR OUTLET
- G — TAMPER RESISTANT GFCI OUTLET, PROVIDE POST-MOUNTED UL LISTED COVER AT EXTERIOR
- SMOKE & CARBON MONOXIDE ALARM, INTERCONNECTED
- DATA OUTLET
- A — TELEPHONE JACK
- HARDWIRED SECURITY CAMERA, REVIEW COVERAGE WITH OWNER
- EXIT — EXIT SIGN
- LINE VOLT PANEL / LOW VOLT PANEL — ELEC PANEL, SEE ELECTRICAL DRAWINGS
- ACCOUSTIC PANEL

HVAC LEGEND SEE MECHANICAL DRAWINGS FOR ADDL INFORMATION

- EF — EXHAUST FAN, SEE MECHANICAL DRAWINGS
- WALL MOUNTED MINI SPLIT

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Revisions:

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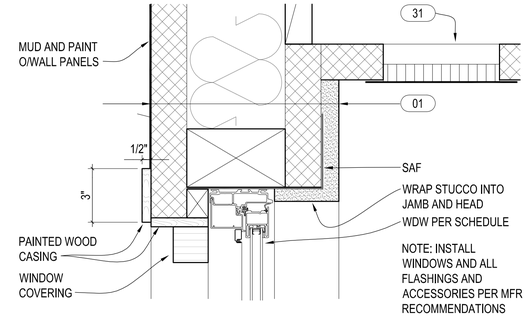
Design Development

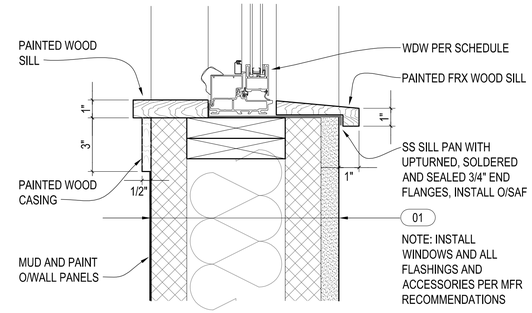
Enlarged Unit RCPs

A6.2



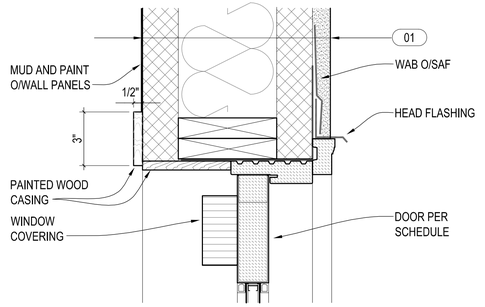
4 A8.1 RECESSED WINDOW HEAD & JAMB

3"=1'-0"



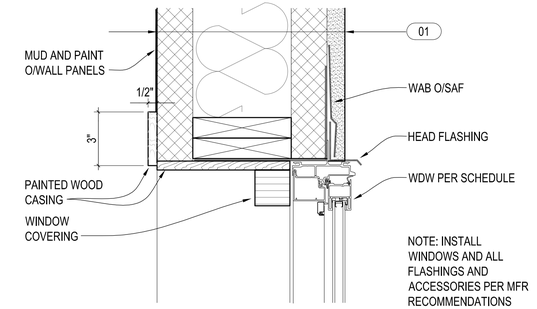
3 A8.1 RECESSED WINDOW SILL

3"=1'-0"



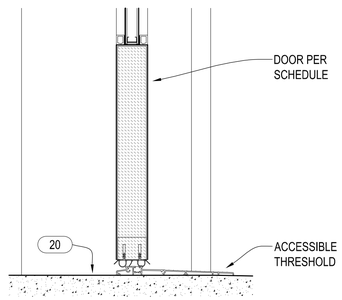
6 A8.1 DOOR HEAD & JAMB

3"=1'-0"



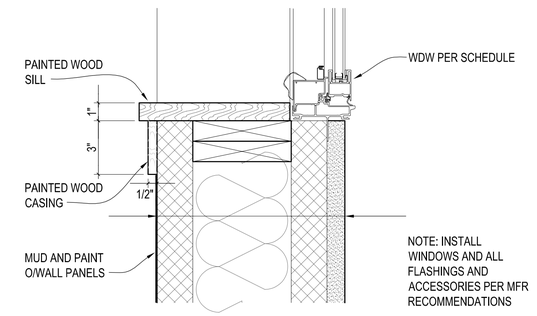
2 A8.1 TYPICAL WINDOW HEAD & JAMB

3"=1'-0"



5 A8.1 DOOR THRESHOLD

3"=1'-0"



1 A8.1 TYPICAL WINDOW SILL

3"=1'-0"

DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS
DJA Architects, PLLC
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Ojai Permanent Supportive Housing

611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

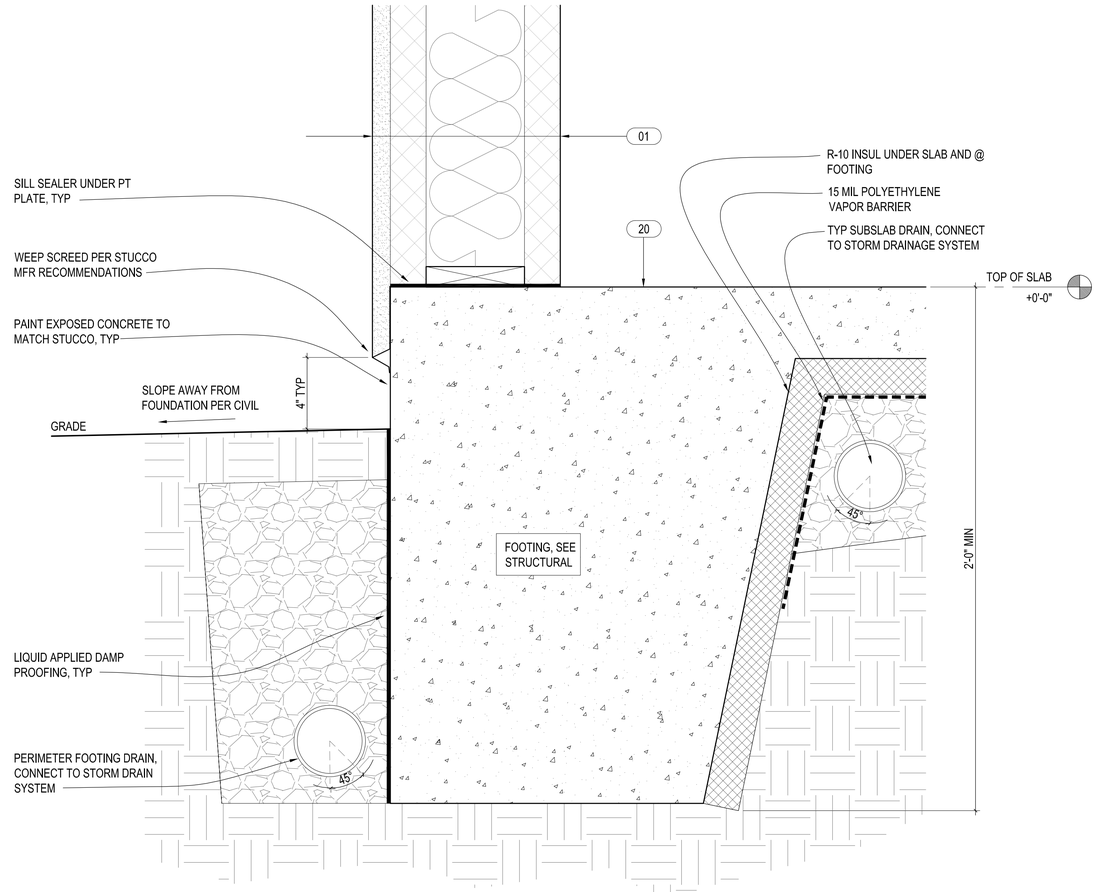
NOT FOR CONSTRUCTION

25 July 2025

Design Development

Exterior Details

A8.1



1 A8.2 TYPICAL FOOTING DETAIL

3"=1'-0"

DIGNITY MOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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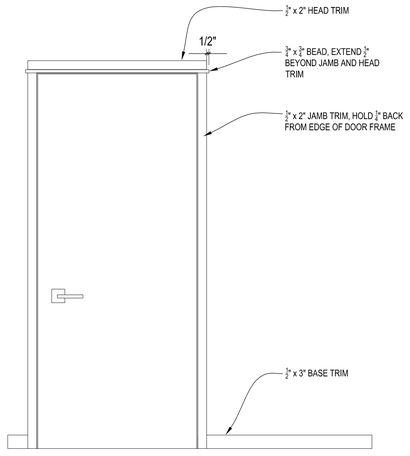
Design Development

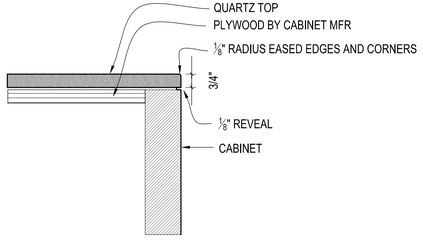
Exterior Details

A8.2



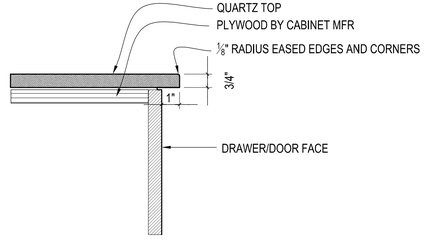
2 A9.1 **BASE AND DOOR TRIM**

1"=1'-0"



5 A9.1 **COUNTERTOP SIDE EDGE DETAIL**

3"=1'-0"



1 A9.1 **COUNTERTOP FRONT EDGE DETAIL**

3"=1'-0"

DIGNITYMOVES
REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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Design Development

Interior Details

A9.1

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE CALIFORNIA BUILDING CODE (2022 EDITION). THIS CONTRACT SHALL BE BID IN ACCORDANCE WITH THE CALIFORNIA PUBLIC CONTRACT CODE SECTIONS 22030-22045 AND OJAI MUNICIPAL CODE CHAPTER 8-4.

2. DESIGN LOADING CRITERIA:
   RESIDENTIAL - HOTELS AND MULTIFAMILY DWELLINGS
   FLOOR LIVE LOAD . . . . . 40 PSF
   FLOOR LIVE LOAD (PRIVATE ROOMS AND CORRIDORS SERVING THEM) . . . 40 PSF
   FLOOR LIVE LOAD (PUBLIC ROOMS AND CORRIDORS SERVING THEM) . . . 100 PSF
   ROOF
   ROOF LIVE LOAD . . . . . 25 PSF
   MISCELLANEOUS LOADS
   STAIR AND CORRIDOR LIVE LOAD (UNLESS OTHERWISE INDICATED) . . . 100 PSF
   ACCESSORY STORAGE AREAS . . . . . 1.0 x AREA SERVED
   MECHANICAL UNITS . . . . . WEIGHTS FURNISHED BY MANUFACTURER
   PHOTOVOLTAIC PANEL SYSTEMS . . . . . 5 PSF
   DEFLECTION CRITERIA
   LIVE LOAD DEFLECTION L/360
   TOTAL LOAD DEFLECTION L/240
   ENVIRONMENTAL LOADS
   RISK CATEGORY II
   WIND . . . . . GCpi=0.18, 93 MPH, EXPOSURE "B"
   EARTHQUAKE:
   ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
   LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS
   SITE CLASS=D (DEFAULT), Ss=1.85, Sds=1.48, S1=0.70,
   Sd1=1.19, Cs=0.227, SDC D, Ie=1.0, R=6.5

   SEE PLANS FOR ADDITIONAL LOADING CRITERIA

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.

4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".

7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

10. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

    CONNECTOR PLATE WOOD ROOF TRUSSES
    PRE-FABRICATED ASSEMBLIES (INCLUDING PANELIZED SYSTEMS)

    CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8" = 1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENT'S AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WALL ELEVATION DRAWINGS WITH REINFORCEMENT SHOP DRAWINGS.

    APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT WHERE REQUIRED.

11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

    SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

12. EXTERIOR CLADDING PANELS AND CONNECTIONS SHALL BE DESIGNED BY THE MANUFACTURER FOR LOADING PRESCRIBED BY THE APPLICABLE BUILDING CODE IN ADDITION TO THE LOADS CONDITIONS SHOWN ON THE PLANS. MANUFACTURER SHALL SUBMIT DETAIL DRAWINGS AND CALCULATIONS STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. THE MANUFACTURER'S ENGINEER SHALL BE RESPONSIBLE FOR DESIGN, CODE CONFORMANCE, AND CONNECTION OF EXTERIOR CLADDING PANELS TO BASIC STRUCTURE. ENGINEER OF RECORD TAKES NO RESPONSIBILITY FOR PRODUCT DESIGN, MANUFACTURE, DELIVERY AND HANDLING, OR CONNECTION TO BASIC STRUCTURE. SHOP DRAWINGS SHALL BEAR THE REVIEW STAMP OF THE DESIGNING ENGINEER'S FIRM PRIOR TO REVIEW BY THE ENGINEER OF RECORD. SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. ALL NECESSARY BRACING, TIES, ANCHORAGE, DISTRIBUTION MEMBERS, AND SIMILAR ELEMENTS SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH SUBMITTED DRAWINGS AND CALCULATIONS.

13. DEFERRED SUBMITTALS: SHOP DRAWINGS AND CALCULATIONS OF DEFERRED SUBMITTAL COMPONENTS SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON AND SHALL BE APPROVED BY THE SPECIALTY STRUCUTRAL ENGINEER (SSE) PRIOR TO REVIEW BY THE ARCHITECT AND ENGINEER FOR GENERAL CONFORMANCE and COMPATIBILITY WITH THE PRIMARY STRUCTURE. ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS SHALL BE INCLUDED. SHOP DRAWINGS SHALL INCLUDE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE BASIC STRUCTURE. DESIGN CALCULATIONS SHALL ACCOMPANY ALL DEFERRED SUBMITTALS. THE ARCHITECT OR CONTRACTOR SHALL FORWARD DEFERRED SUBMITTALS TO THE BUILDING OFFICIAL WHERE REQUIRED.

    DEFERRED SUBMITTAL BUILDING COMPONENTS FOR THIS PROJECT SHALL INCLUDE:

    EXTERIOR WALL OR CLADDING PANELS
    PREFABRICATED CONNECTOR PLATE WOOD TRUSSES - TEMPORARY AND PERMANENT BRACING

QUALITY ASSURANCE

14. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

CONCRETE CONSTRUCTION	PER TABLE 1705.3
WOOD TRUSSES GREATER THAN 5' DEEP OR 60' LONG	PER 1705.5.2
SOIL CONDITIONS, FILL PLACEMENT, AND DENSITY	PER TABLE 1705.6
EXPANSION BOLTS AND THREADED EXPANSION INSERTS	PER MANUFACTURER
EPOXY GROUTED INSTALLATIONS	PER MANUFACTURER

    PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

    CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

15. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.13 OF THE INTERNATIONAL BUILDING CODE.

    A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

16. STRUCTURAL OBSERVATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 1704.6 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING BUILDING ELEMENTS:

    LIGHT FRAMED SHEAR WALLS
    HOLDOWNS

    THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD ADEQUATE NOTICE TO SCHEDULE APPROPRIATE SITE VISITS FOR STRUCTURAL OBSERVATION.

    STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS, AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED BY SECTION 110, 1705, OR OTHER SECTIONS OF THE INTERNATIONAL BUILDING CODE.

    THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR, AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES WHICH, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

GEOTECHNICAL

17. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

    FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

    BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

    ALLOWABLE SOIL PRESSURE. . . . . 1500 PSF

RENOVATION

18. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

19. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

20. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

21. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500 PSI.

22. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-19, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.

23. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.

24. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-19. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

    NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

25. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

    FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH . . . . . 3"
    FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) . . . . 2"
    FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2"
    COLUMN TIES OR SPIRALS AND BEAM STIRRUPS. . . . . 1-1/2"
    SLABS AND WALLS (INT. FACE). . . GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

26. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
8" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
10" WALLS	#4 @ 18 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS
12" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS

27. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

ANCHORAGE

28. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037 FOR CONCRETE AND IAPMO ER-240 FO MASONRY, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.

29. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4057. MINIMUM BASE MATERIAL TEMPERATURE IS 40 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

30. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

WOOD

31. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2021. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:		DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

32. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

33. PREFABRICATED CONNECTOR PLATE WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI-1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

	ROOF
TOP CHORD LIVE LOAD	25 PSF
TOP CHORD DEAD LOAD	40 PSF
BOTTOM CHORD DEAD LOAD	10 PSF
TOTAL LOAD	50 PSF
WIND UPLIFT (TOP CHORD)	5 PSF
BOTTOM CHORD LIVE LOAD (BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF OR FLOOR LIVE LOAD)	10 PSF

    WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (MITEK OR EQUAL). SUBMIT SHOP DRAWINGS INCLUDING TRUSS PLACEMENT DIAGRAM AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS.

    TEMPORARY AND PREMANENT RESTRAINT/BRACING SHALL BE IN ACCORDANCE WITH BCSI-B3 AND BCSI-B7.

    TEMPORARY AND PREMANENT RESTRAINT/BRACING SHALL BE A PROJECT SPECIFIC DESIGN PER 2.3.3.1.3 OF ANSI/TPI-1 AND SHALL BE PREPARED BY AN INDEPENDENT REGISTERED DESIGN PROFESIONAL LICENCED IN THE STATE OF WASHINGTON. RESTRAINT/BRAICING DESIGN SHALL BE A DEFERRED SUBMITTAL.

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APPROVED: -

REVISIONS:

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PROJECT TITLE:
Ojai Permanent Supportive Housing
611 S Montgomery St
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ARCHITECT:
DJA Architects

ISSUE:
Design Development

SHEET TITLE:
General Structural Notes

SCALE:

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SHEET NO:
S1.1

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

34. PLYWOOD SHEATHING SHALL BE EXPOSURE 1, PANEL GRADE C-D, AND EITHER SHEATHING, SINGLE-FLOOR, OR STRUCTURAL I GRADE IN CONFORMANCE WITH DOC PS 1 AND PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

    ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

    FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

    WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

    PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

    REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

35. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

36. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1-20 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

37. WOOD TREATED FOR FIRE RESISTANCE SHALL MEET THE REQUIREMENTS OF ASTM E84 OR UL 723 AND HAVE A LISTED FLAME SPREAD INDEX OF 25 OR LESS. FIRE RETARDANT TREATED LUMBER AND WOOD STRUCTURAL PANELS SHALL BE LABELED IN ACCORDANCE WITH IBC 2303.2.4. WOOD TREATED FOR FIRE PROTECTION FOR USE IN INTERIOR ABOVE GROUND CONSTRUCTION AND CONTINUOUSLY PROTECTED FROM WEATHER AND OTHER SOURCES OF MOISTURE SHALL BE TREATED TO AWPA U1-20, UCFA. WOOD TREATED FOR FIRE PROTECTION FOR USE IN EXTERIOR ABOVE GROUND CONSTRUCTION AND SUBJECT TO WETTING OR OTHER SOURCES OF MOISTURE SHALL BE TREATED TO AWPA U1-20, UCFB.

38. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

    INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

39. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

    ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

    WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

    ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

40. WOOD FASTENERS

    A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

    IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

    NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

    B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

41. NOTCHES AND HOLES IN WOOD FRAMING:

    A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

    B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

    C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

42. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

    A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.2. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

    B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

    ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

    ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

    C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

    UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

    D. WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION, CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8" OF VERTICAL MOVEMENT PER FLOOR LEVEL

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Ojai Permanent Supportive Housing
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DJA Architects

ISSUE:
Design Development

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General Structural Notes

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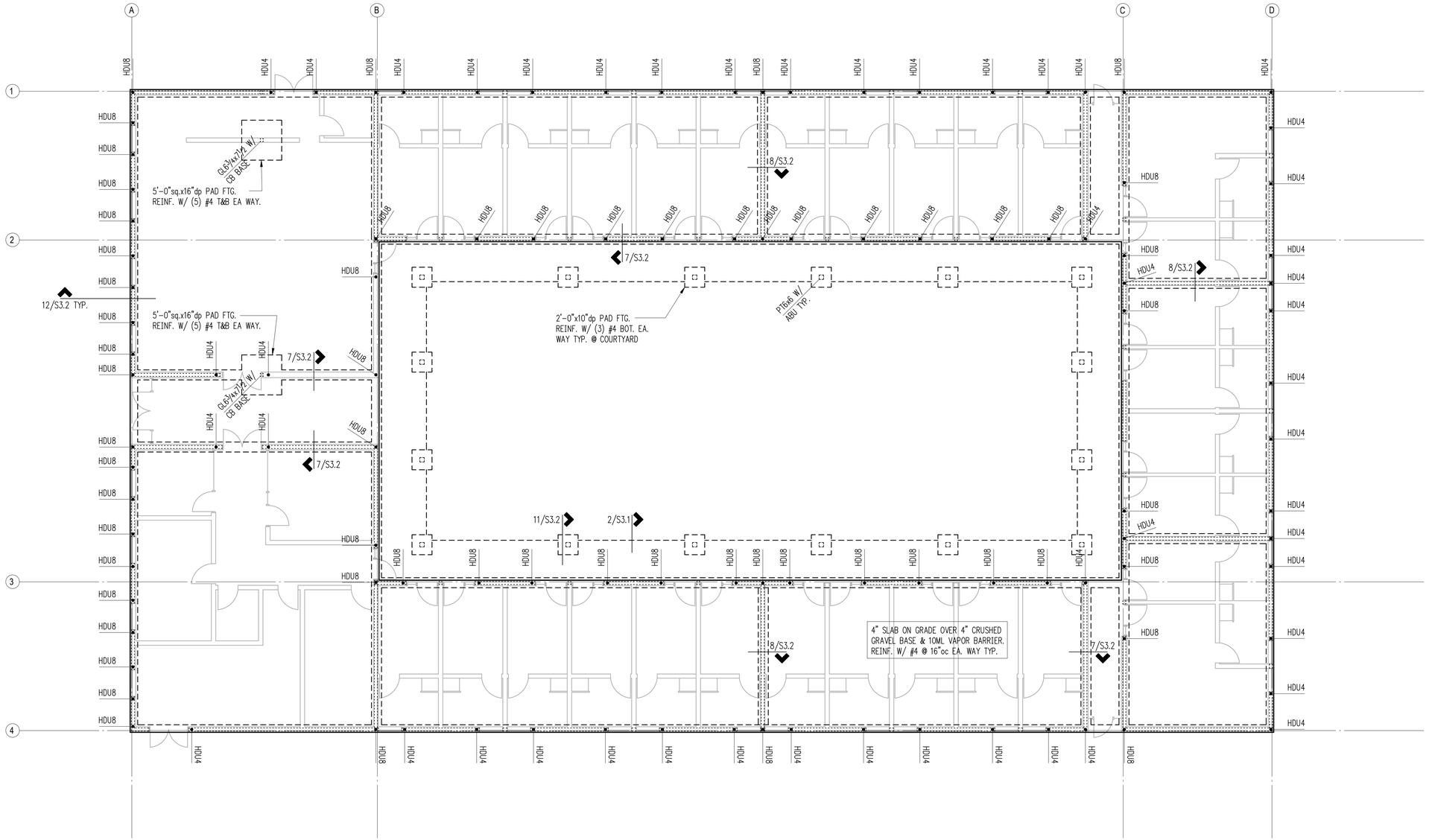

Plan Notes

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
3. 4" SLAB ON GRADE OVER 4" CRUSHED AGGREGATE BASE AND 10MIL VAPOR BARRIER. REINFORCE WITH #3 @ 12"OC EACH DIRECTION. PROVIDE CONTROL JOINTS PER DETAIL 12/S3.1
4. PROVIDE CORNER BARS PER DETAIL 8/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
6. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

Foundation Plan

Scale: 1/8" = 1'-0"

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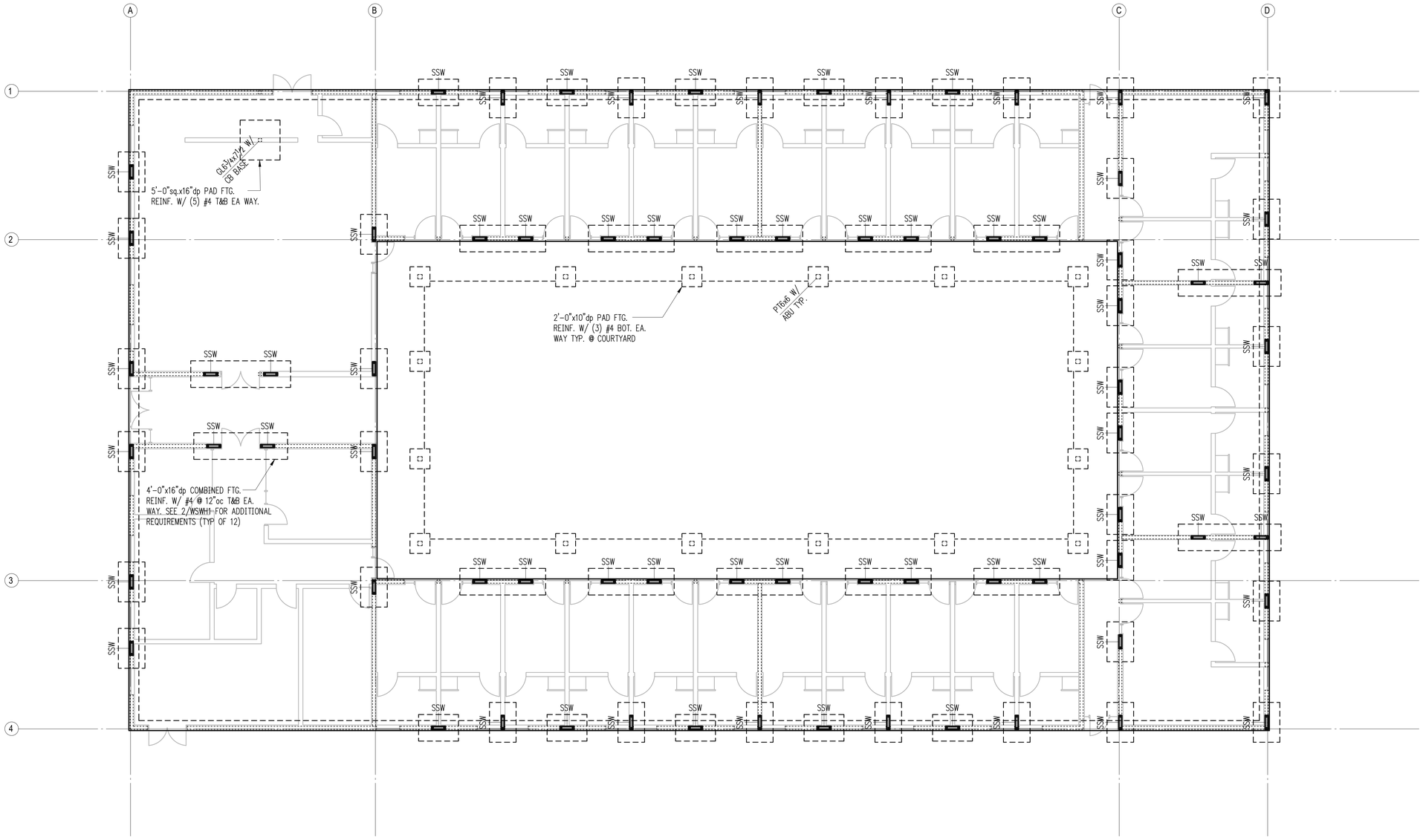
S2.1



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Legend

SSW — 24"x8'-0" SIMPSON STRONG WALL W/ 4'-0"x6'-0"x16"dp PAD FTG. W/ #4 @ 12"oc T&B EA. WAY

Foundation Plan

Scale: 1/8" = 1'-0"

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SHEET TITLE:
Foundation Plan (Strongwall)

SCALE: 1/8" = 1'-0"
DATE: 25 July, 2025
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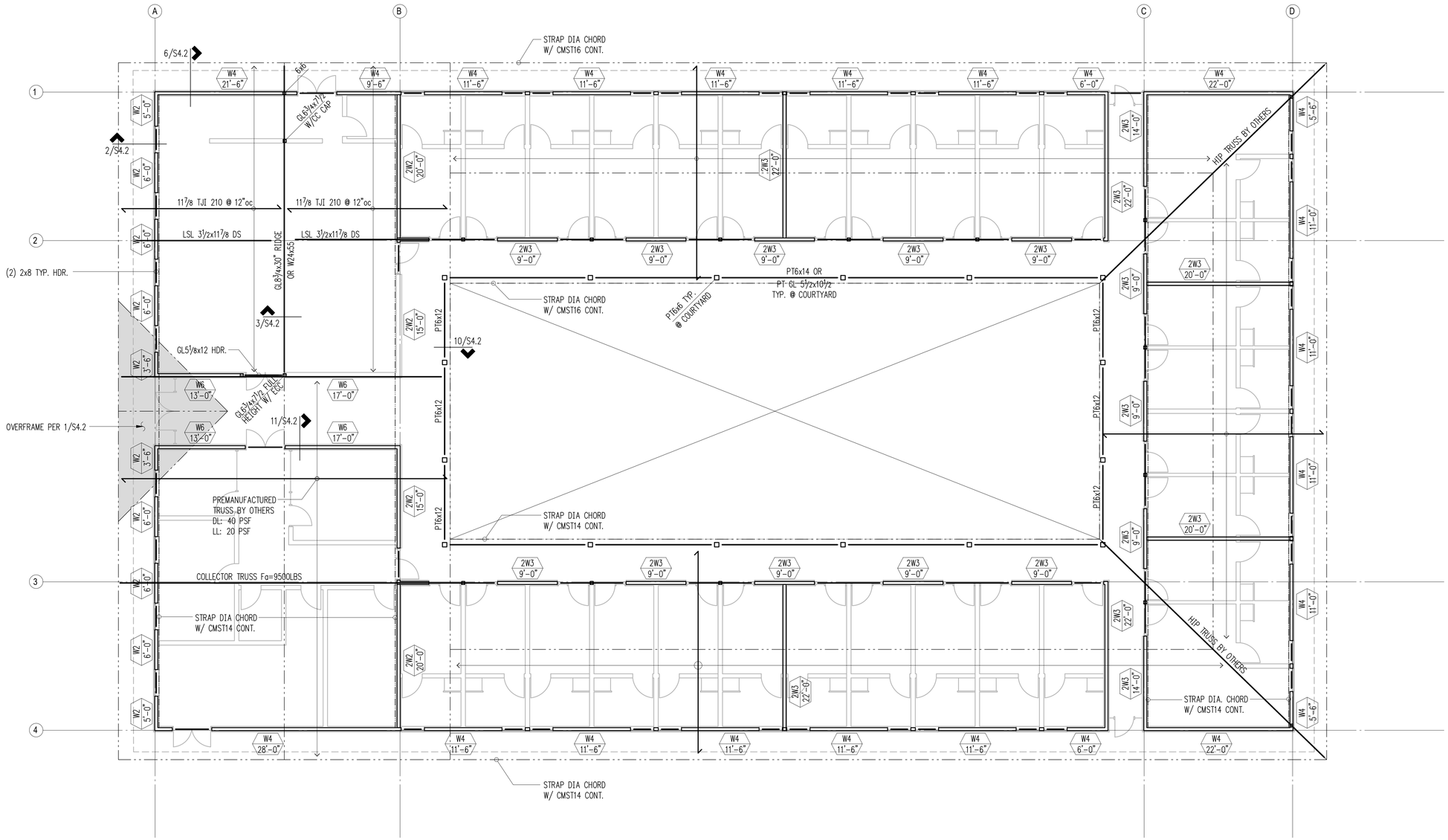

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3. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2X8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
4. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
5. W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS.
6. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
7. PROVIDE H1 HURRICANE TIE AT EACH TRUSS/RAFTER WHERE IT BEARS ON EXTERIOR WALL.
8. MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL E INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
9. SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
10. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

Roof Framing Plan

Scale: 1/8" = 1'-0"

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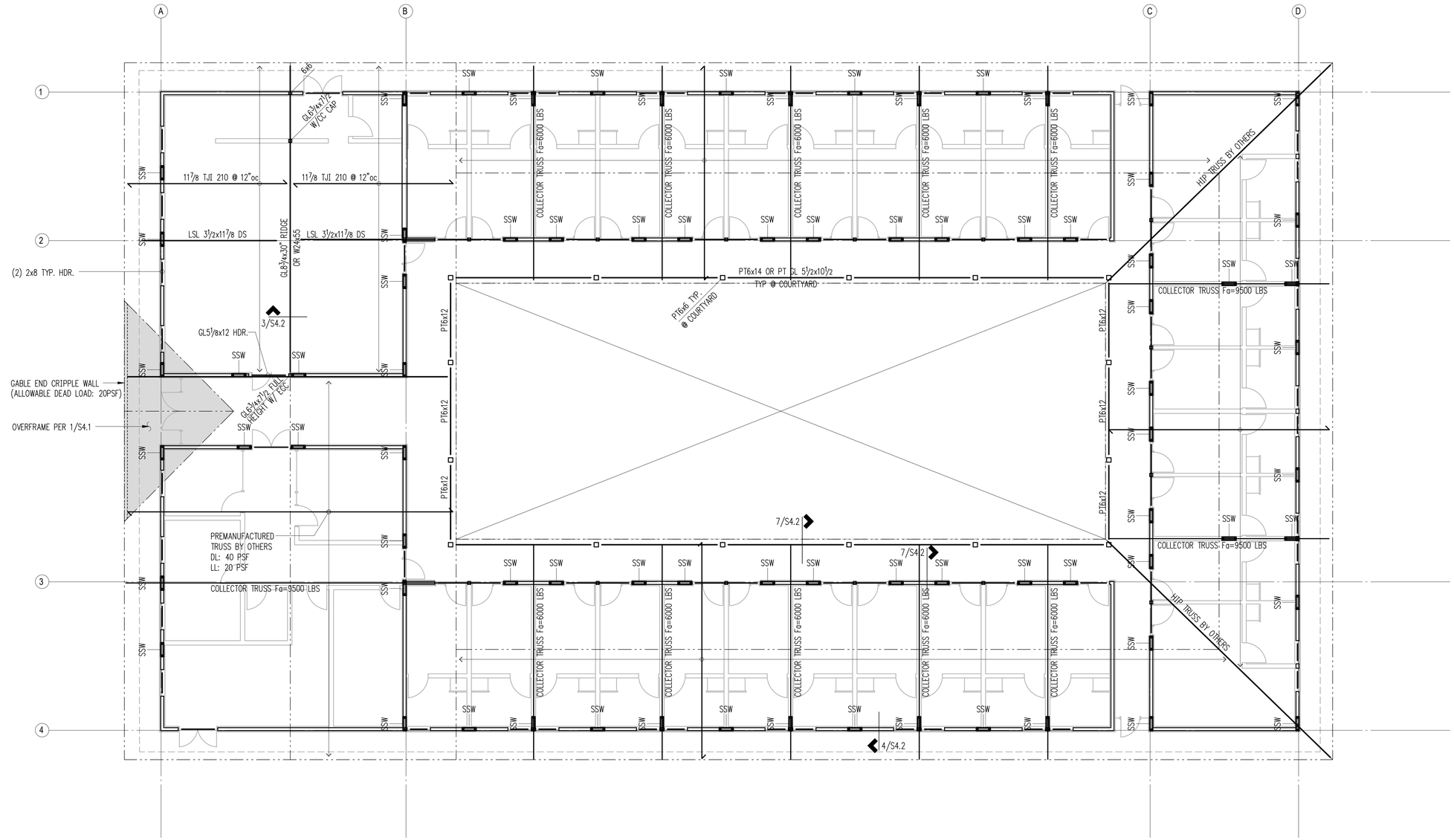

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9. SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
10. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

SSW — 24"x8'-0" SIMPSON STRONG WALL
REF SHEETS WSWH1&2

Roof Framing Plan

Scale: ⅛" = 1'-0"

SSF STRUCTURAL ENGINEERING

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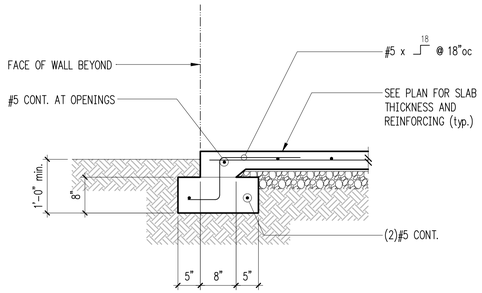
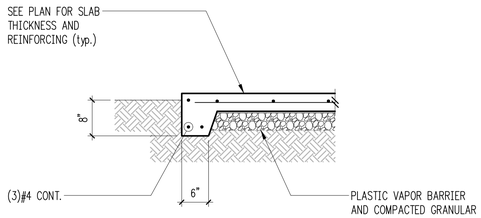
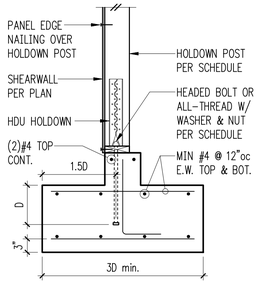


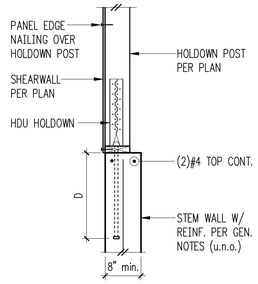
Typical Turned-Down Slab Edge 1



Typical Slab Edge 2



HDU Into Footing Option



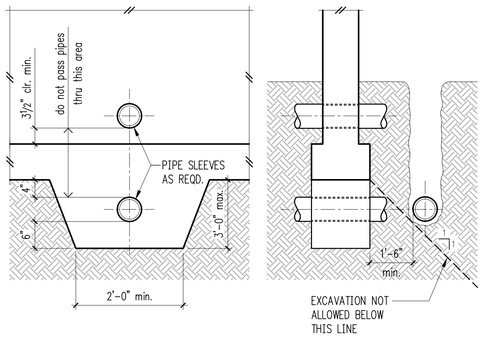
HDU Into Stem Wall Option

Holdown Schedule

Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS ¼"x2½"	5/8"ø	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS ¼"x2½"	5/8"ø	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS ¼"x2½"	5/8"ø	SB5/8x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS ¼"x2½"	7/8"ø	SSTB28	8"	4x6	6x6
HDU11-SDS2.5	(30)SDS ¼"x2½"	1"ø	SB1x30	10"	4x8	6x6
HDU14-SDS2.5	(36)SDS ¼"x2½"	1"ø	N/A	12"	4x8	6x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

Typical HDU Holdown 4



Pipe and Trench Locations 5

Reinforcing Splice and Development Length Schedule

For f'c = 3000 psi, Grade 60 Reinforcing

① Minimum Straight Development Length (ℓd)

Bar Size	Top Bars	Other Bars
#3	22"	17"
#4	29"	22"
#5	36"	28"
#6	43"	33"
#7	63"	48"
#8	72"	55"
#9	81"	62"
#10	91"	70"
#11	101"	78"

② Minimum Lap Splice Lengths (ℓs)

Bar Size	Top Bars	Other Bars
#3	28"	22"
#4	37"	29"
#5	47"	36"
#6	56"	43"
#7	81"	63"
#8	93"	72"
#9	105"	81"
#10	118"	91"
#11	131"	101"

TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

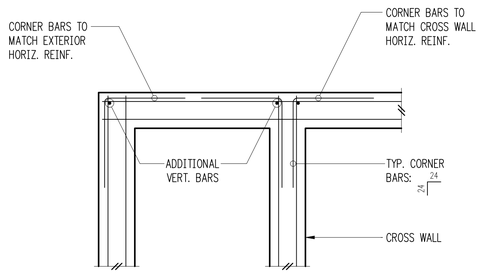
IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

③ Minimum Embedment Lengths (ℓdh) For Standard End Hooks

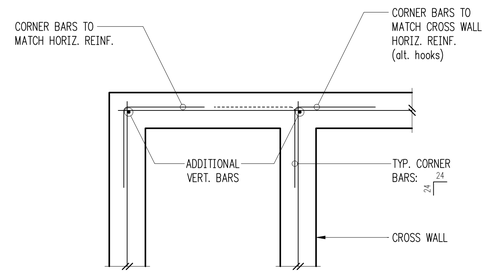
Bar Size	Length
#3	6"
#4	8"
#5	10"
#6	12"
#7	14"
#8	16"
#9	18"
#10	20"
#11	22"

1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN 2½"
2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"

Reinforcing Splice Length & Development Length (3000psi) 10

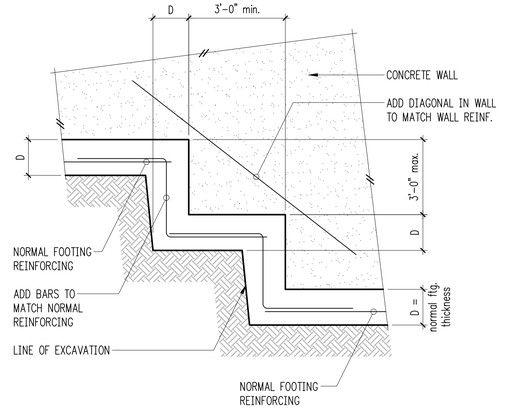


Double Curtain

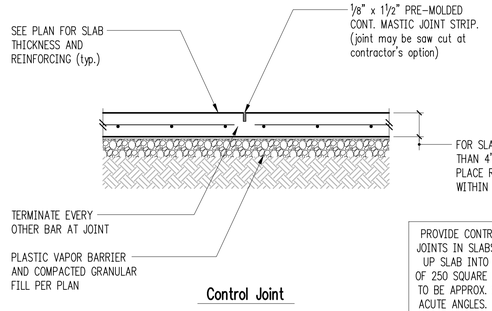


Single Curtain

Typical Corner Bars at Concrete Walls and Footings 8

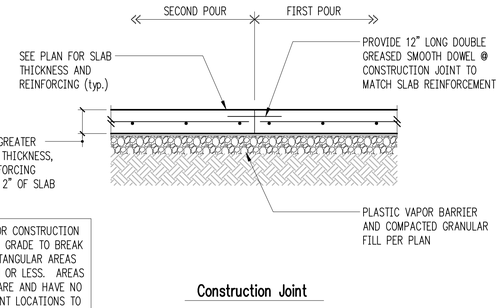


Typical Stepped Footing 9



Control Joint

PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 250 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.



Construction Joint

Typical Slab Joints 12

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DRAWN: RJ
DESIGN: AGL
CHECKED: AGL
APPROVED: -

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
Ojai Permanent Supportive Housing
611 S Montgomery St
Ojai, CA

ARCHITECT:
DJA Architects

ISSUE:
Design Development

SHEET TITLE:
Foundation Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: 25 July, 2025
PROJECT NO: 02061-2025-01
SHEET NO:
S3.1

1

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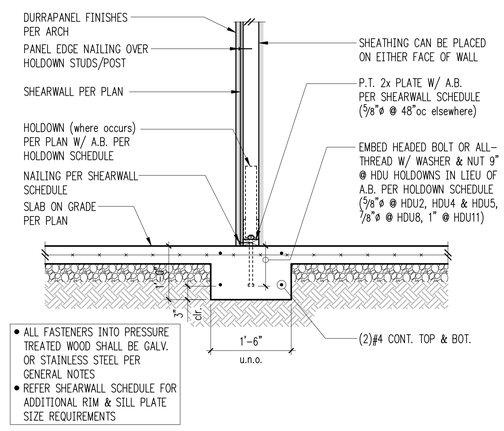

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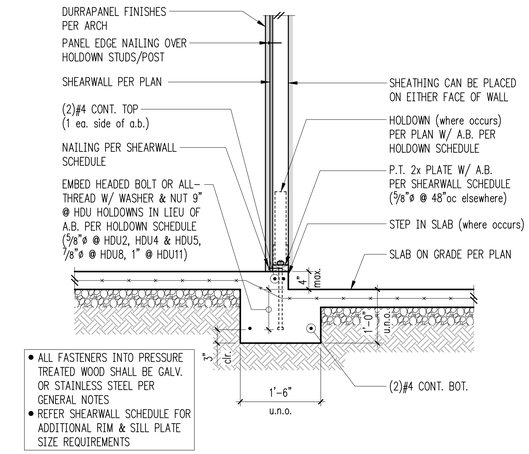

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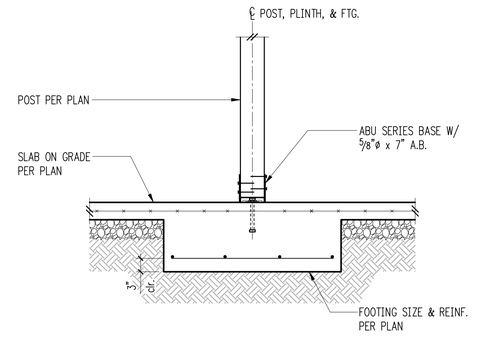
6

Interior Wall w/ Thickened Slab 7

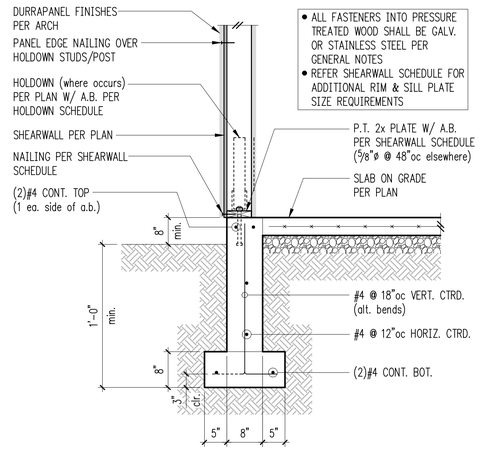
Interior Wall with Thickened Slab and Step 8

9

10



Post Footing w/ Slab on Grade - ABU 11



Exterior Wall w/ Slab on Grade 12

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SCALE: 3/4" = 1'-0" U.N.O.
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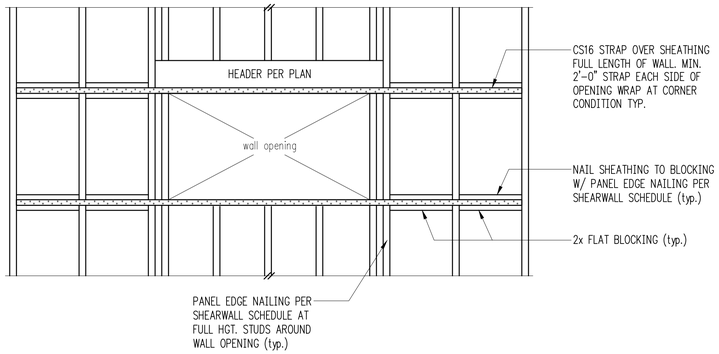
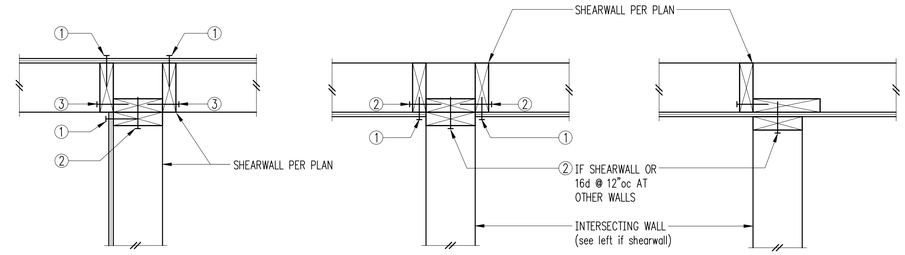


Continuous Straps at Wall Opening (above and below) 2

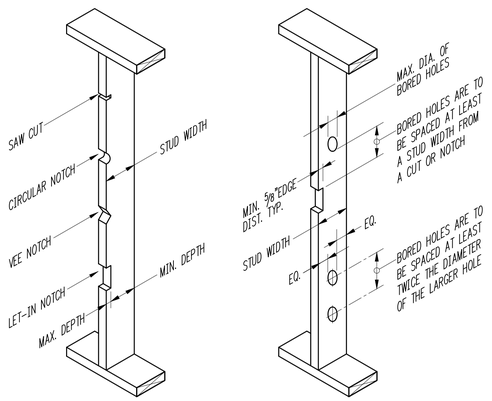


① PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE

② BASE PLATE NAILING PER SHEARWALL SCHEDULE

③ 16d @ 8"oc

Typical Shearwall Intersections 4



BEARING WALL STUDS

STUD SIZE	MAX DEPTH OF EDGE CUT OR NOTCH	MIN DEPTH REMAINING AFTER CUT OR NOTCH
2x4	7/8"	2 5/8"
2x6	1 3/8"	4 1/8"
2x8	1 3/4"	5 1/2"

BEARING WALL STUDS

STUD SIZE	MAX DIAMETER OF BORED HOLE	MIN DEPTH REMAINING AFTER BORED HOLE
2x4	1 3/8"	5/8" EA SIDE OF HOLE
2x6	2 3/16"	5/8" EA SIDE OF HOLE
2x8	2 7/8"	5/8" EA SIDE OF HOLE

NOTE:
STUDS MAY NOT BE BORED IN EXCESS OF 40% OF THE STUD, IF STUDS ARE DOUBLED, BORINGS MAY BE INCREASED TO 60% OF STUD WIDTH PROVIDED NOT MORE THAN (2) SUCCESSIVE STUDS ARE BORED. BORINGS SHALL NOT BE MADE AT THE SAME SECTION WHERE CUT OR NOTCH HAS BEEN MADE.

NON-BEARING WALL STUDS

STUD SIZE	MAX DEPTH OF EDGE CUT OR NOTCH	MIN DEPTH REMAINING AFTER CUT OR NOTCH
2x4	1 3/8"	2 1/8"
2x6	2 3/16"	3 3/8"
2x8	2 7/8"	4 3/8"

NON-BEARING WALL STUDS

STUD SIZE	MAX DIAMETER OF BORED HOLE	MIN DEPTH REMAINING AFTER BORED HOLE
2x4	2 1/16"	5/8" EA SIDE OF HOLE
2x6	3 1/4"	5/8" EA SIDE OF HOLE
2x8	4 1/4"	5/8" EA SIDE OF HOLE

NOTE:
STUDS MAY NOT BE BORED IN EXCESS OF 60% OF THE STUD. BORINGS SHALL NOT BE MADE AT THE SAME SECTION WHERE CUT OR NOTCH HAS BEEN MADE.

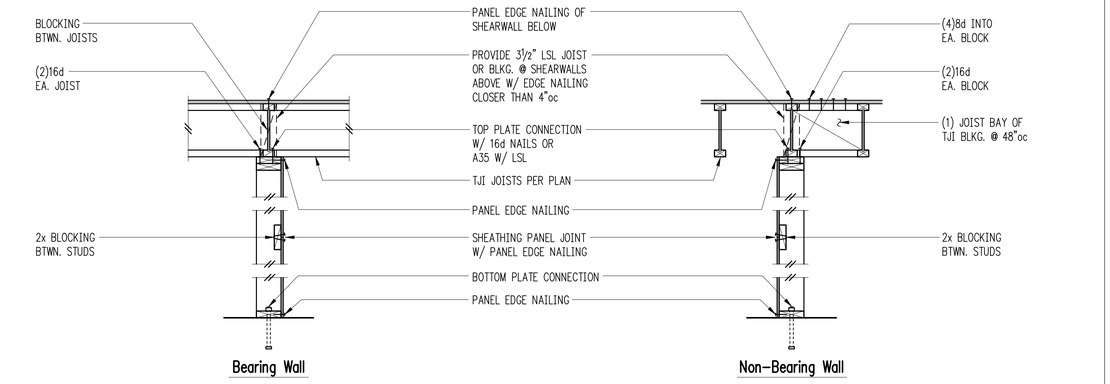
CUTTING AND NOTCHING WOOD STUDS

NOTE:
DO NOT NOTCH MORE THAN THREE ADJACENT STUDS WITHOUT REVIEW BY ENGINEER.

BORED HOLES IN WOOD STUDS

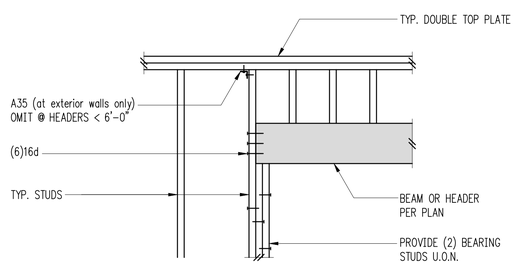
NOTE:
BORED HOLE NOT PERMITTED IN MORE THAN THREE ADJACENT STUDS WITHOUT REVIEW BY ENGINEER.

Typical Holes and Notches in Wood Studs 6

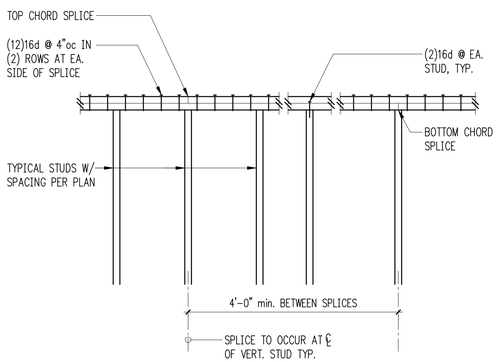


NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

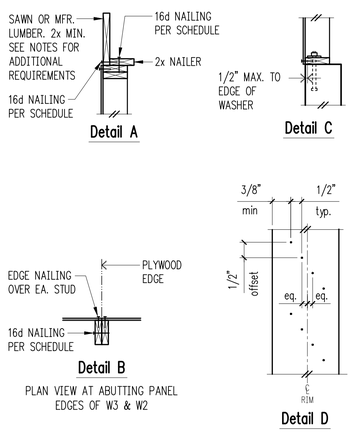
Typical Shearwall Construction 8



Typical Header Support w/2 Bearing Studs 9



Typical Top Plate Splice 10



Shearwall Schedule ①②③⑥⑦⑧

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑨	at Wood ⑪⑫	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc ⑩	16d @ 6"oc	5/8"ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc ⑩	(2)rows 16d @ 6"oc	5/8"ø A.B. @ 32"oc
W3 ④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc ⑩	(2)rows 16d @ 6"oc	5/8"ø A.B. @ 24"oc
W2 ④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc ⑩	(2)rows 16d @ 4"oc ⑬	5/8"ø A.B. @ 16"oc
2W3 ⑤	15/32" CDX PLYWD. EA. SIDE	8d @ 3"oc EA. SIDE	n/a	A35 @ 6"oc	(3)rows 16d @ 4"oc ⑭	5/8"ø A.B. @ 16"oc
2W2 ⑤	15/32" CDX PLYWD. EA. SIDE	8d @ 2"oc EA. SIDE	n/a	HGA10KT @ 8"oc	(3)rows 16d @ 4"oc ⑭	5/8"ø A.B. @ 12"oc
2W2-10 ⑤	15/32" CDX PLYWD. EA. SIDE	10d @ 2"oc EA. SIDE	n/a	HGA10KT @ 6"oc	(4)rows 16d @ 4"oc ⑭	5/8"ø A.B. @ 12"oc

① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"o.c.
② 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) – 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box) – 10d NAILS SHALL BE 0.148"ø x 3" (common).
③ EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
⑤ 3x FOUNDATION SILL PLATES ARE REQUIRED FOR 2W3 AND 2W2. 3x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES AND PANEL JOINTS SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUD, MIN., REQUIRED AT END OF SHEARWALL.
⑥ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE-SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
⑦ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
⑧ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX, EXCEPT AT 10d PANEL EDGE NAILING.
⑨ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
⑩ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
⑪ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
⑫ LVL RIMS PERMITTED AT SINGLE SIDED SHEAR WALLS ONLY.
⑬ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.
⑭ MINIMUM RIM OR JOIST 3 1/2" WIDE BELOW SHEARWALL.

Shearwall Schedule - (Sheathed One & Two Sides) 12

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Ojai, CA

ARCHITECT:
DJA Architects

ISSUE:
Design Development

SHEET TITLE:
Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: 25 July, 2025
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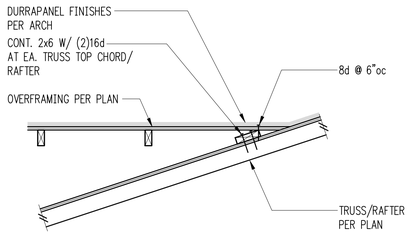
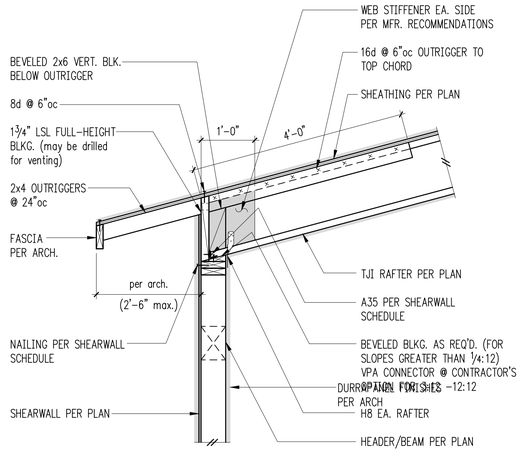
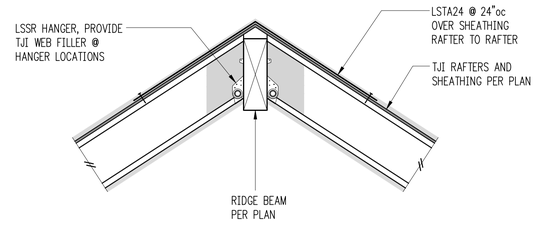


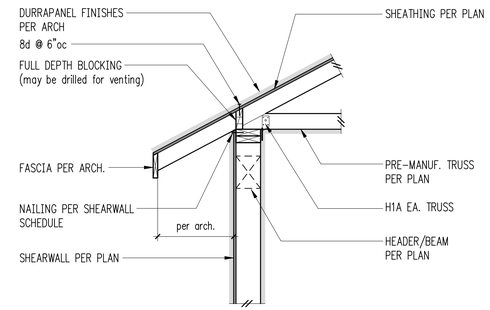
Overframing Connection 1



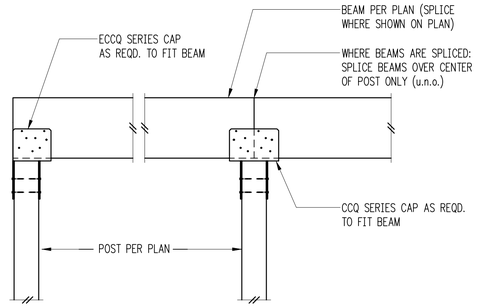
Exterior Bearing Wall 2



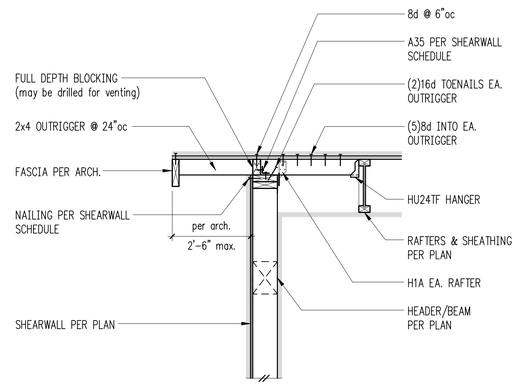
Ridge Beam w/ LSSR Hangers 3



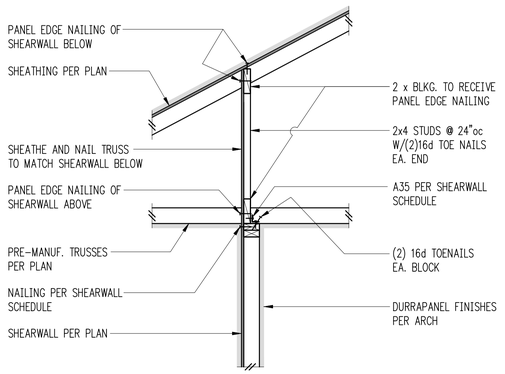
Exterior Bearing Wall 4



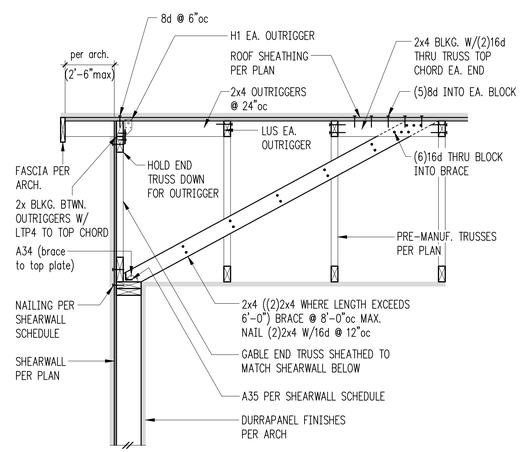
CC/CCQ Series Connection 5



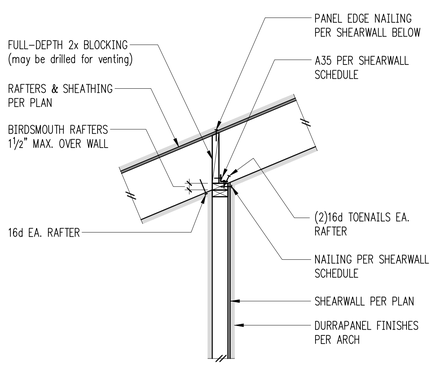
Exterior Non-Bearing Wall 6



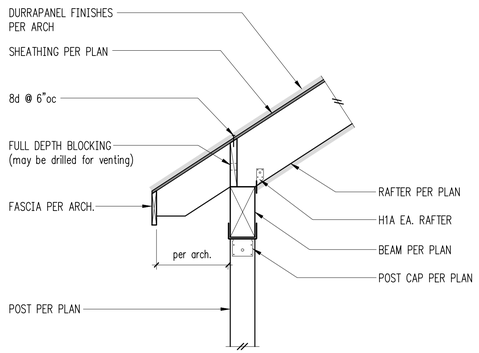
Shearwall Extension Thru Truss Depth (perpendicular to truss) 7



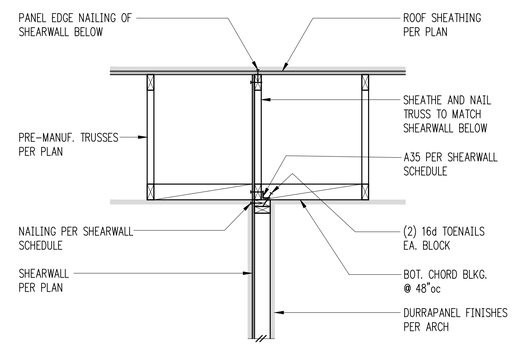
Exterior Non-Bearing Wall 8



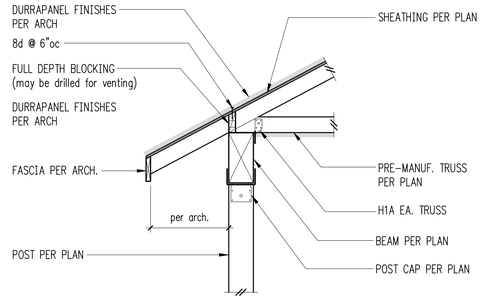
Interior Bearing Wall 9



Beam & Post 10



Shearwall Extension Thru Truss Depth (parallel to truss) 11



Beam & Post 12

STRUCTURAL ENGINEERING
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PRELIMINARY NOT FOR CONSTRUCTION

DRAWN: RJ
DESIGN: AGL
CHECKED: AGL
APPROVED: -

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
Ojai Permanent Supportive Housing
611 S Montgomery St
Ojai, CA

ARCHITECT:
DJA Architects

ISSUE:
Design Development

SHEET TITLE:
Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: 25 July, 2025
PROJECT NO: 02061-2025-01
SHEET NO:
S4.2

GENERAL NOTES

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES, LOCAL ORDINANCES, & LOCAL REQUIREMENTS, AS A MINIMUM. ADDITIONAL, MORE STRINGENT REQUIREMENTS SHALL GOVERN.
2. CONTRACT DOCUMENTS ARE SCHEMATICS, NOT SHOP DRAWINGS. SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED TO CLARIFY DETAILS OF INSTALLATION.
3. ALL SUBSTITUTIONS SHALL BE PRE-APPROVED.
4. PAY FOR ALL PERMITS & FEES RELATED TO THE EXECUTION OF THIS WORK.
5. INSPECT & REPORT ON DEFECTIVE EXISTING CONDITIONS PRIOR TO BID OR START OF WORK.
6. DO NOT CUT OR MODIFY STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL BY ARCHITECT.
7. COORDINATE WITH OTHER TRADES & ARCHITECT FOR THE PROPER & COMPLETE INSTALLATION OF THE WORK.
8. MAKE ALL NECESSARY PROVISIONS TO CREATE A SAFE WORK ENVIRONMENT.
9. PROVIDE SUBMITTALS FOR ALL WORK.
10. IDENTIFY ALL MECHANICAL EQUIPMENT WITH PLASTIC ENGRAVED TAGS.
11. ISOLATE MOTORIZED OR MOVING EQUIPMENT FROM STRUCTURE WITH APPROVED METHODS.
12. INSULATE INDIRECT WASTE PIPING TO PREVENT CONDENSATION.
13. COORDINATE AIR TERMINALS WITH ARCHITECTURAL CEILING TYPES AND SURFACE FINISHES, AS APPROPRIATE. PROVIDE COLOR SAMPLES TO ARCHITECT.
14. PROVIDE A 1 YEAR WARRANTY FOR ALL WORK.
15. PRODUCT INSTALLATION METHODS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S DETAILED INSTRUCTIONS.
16. DUCT SIZES ARE INSIDE CLEAR DIMENSIONS. FOR LINED DUCTS, MAINTAIN SIZES INSIDE LINING.
17. ALL CONTROL WIRING INSIDE MECHANICAL ROOMS AND CONCEALED IN WALLS SHALL BE IN CONDUIT, INSTALLED BY MECHANICAL. ALL HVAC COMMUNICATIONS WIRING WITHIN 3 FEET OF ELECTRICAL PANELS OR OTHER DEVICES SHALL BE SHIELDED TO PREVENT SIGNAL DISRUPTION. REMAINING WIRING SHALL BE PLENUM RATED.

ELECTRICAL COORDINATION:

1. MOTOR STARTERS, LINE VOLTAGE WIRING & ALL CONDUIT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. LOW VOLTAGE WIRING & LOW VOLTAGE CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
2. ALL PRODUCTS REQUIRING ELECTRICAL CONNECTION SHALL BE LISTED & CLASSIFIED BY UL OR APPROVED TESTING FIRM.

DUCT SMOKE DETECTORS:

1. WHERE A FIRE ALARM SYSTEM IS REQUIRED OR PROVIDED, THE FIRE ALARM CONTRACTOR SHALL PROVIDE & INSTALL THE DUCT DETECTOR & MAKE ALL NECESSARY CONNECTIONS TO THE FIRE ALARM SYSTEM. MECHANICAL CONTRACTOR SHALL PREPARE DUCTWORK, INCLUDING ANY REQUIRED ACCESS FOR INSTALLATION OF DETECTORS BY THE FIRE ALARM CONTRACTOR. MECHANICAL CONTRACTOR SHALL INSTALL THE WIRING & CONTROLS FOR THE FAN SHUTDOWN.
2. WHERE A FIRE ALARM SYSTEM IS NOT REQUIRED OR PROVIDED, THE MECHANICAL CONTRACTOR SHALL PROVIDE & INSTALL THE DUCT SMOKE DETECTOR & ALL ASSOCIATED CONTROLS & DEVICES FOR ITS PROPER OPERATION. MECHANICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE ELECTRICAL CONTRACTOR FOR CONDUIT, WIRING, & POWER REQUIREMENTS.

TITLE 24 REQUIREMENTS:

1. PROVIDE ACCEPTANCE TESTING AND CERTIFICATES FOR ALL APPLICABLE SYSTEMS PER REQUIREMENTS OF 2022 TITLE 24 NON-RESIDENTIAL ENERGY STANDARDS.
2. WHERE APPLICABLE, PROVIDE DUCT LEAKAGE TESTING BY A CERTIFIED HERS RATER PER 2022 TITLE 24 REQUIREMENTS, SECTION 120.4(g). THIS SHALL BE PART OF THE BASE CONTRACT WORK.
3. PER SECTION 110.1: ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY COMPLIES WITH SECTION 1608(a) OF THOSE REGULATIONS.
4. ANY SPACE-CONDITIONING EQUIPMENT MAY BE INSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED TO THE CA ENERGY COMMISSION THAT THE EQUIPMENT COMPLIES WITH THE APPLICABLE REQUIREMENTS OF TITLE 24, SECTION 110.2.
5. ANY SERVICE WATER HEATING SYSTEM OR EQUIPMENT MAY BE INSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED THAT THE SYSTEM OR EQUIPMENT COMPLIES WITH ALL OF THE REQUIREMENTS OF TITLE 24, SECTION 110.3 FOR THAT SYSTEM OR EQUIPMENT.
6. INSTALLING CONTRACTOR SHALL PROVIDE APPLICABLE CERTIFICATES OF INSTALLATION (NRCI) AND ACCEPTANCE (NRCA) AT TIME OF INSPECTION PER 2022 TITLE 24 REQUIREMENTS.

CA GREEN BUILDING CODE (CGBC):

1. COMPLY WITH ALL MANDATORY REQUIREMENTS OF CHAPTER 5 OF THE 2022 CGBC.
2. COMPLY WITH ALL ENVIRONMENTAL QUALITY REQUIREMENTS OF CHAPTER 5 OF THE 2022 CGBC INCLUDING PRE- AND POST-OCCUPANCY FILTERS AND VOC LIMITS. PROVIDE DOCUMENTATION OF COMPLIANCE AS REQUIRED.

TEST AND BALANCE:

1. ALL SYSTEMS SHALL BE TESTED BY A CERTIFIED INDEPENDENT AGENCY, TO NEBB OR AABC STANDARDS. PROVIDE CERTIFIED AIR BALANCE REPORT FOR REVIEW PRIOR TO FINAL INSPECTION.
2. BALANCE SYSTEM IN AT LEAST TWO PHASES:
   2.1. PRELIMINARY/ROUGH
   2.2. FINAL FOR REVIEW BY ARCHITECT. AN ADDITIONAL REBALANCE MAY BE REQUIRED FOR FINAL APPROVAL.

PRODUCTS:

1. ALL PRODUCTS SHALL BE NEW, IN PERFECT CONDITION, & SHALL BEAR THE MANUFACTURER'S LABEL.
2. DUCTWORK SHALL CONFORM TO THE CMC & TO SMACNA STANDARDS FOR GAGES & INSTALLATION, UNLESS OTHERWISE NOTED TO BE MORE STRINGENT. INSULATE ALL HEATING, COOLING & RETURN DUCTS PER TITLE 24 REQUIREMENTS. DUCT LINER SHALL BE FIBER-FREE ARMAFLEX FS SA. DUCT LINER SHALL BE ALLOWED ONLY WHERE PERMITTED BY THE CMC AND LOCAL JURISDICTIONS. DUCTWRAP SHALL BE JM "MICROLITE" XG.
3. CMC COMPLIANCE: ALL AIR DISTRIBUTION SYSTEM DUCTS AND PLENUMS, INCLUDING, BUT NOT LIMITED TO, BUILDING CAVITIES, MECHANICAL CLOSETS, AIR-HANDLER BOXES AND SUPPORT PLATFORMS USED AS DUCTS OR PLENUMS, SHALL MEET THE REQUIREMENTS OF THE CMC SECTIONS 601.0, 602.0, 603.0, 604.0, 605.0, AND ANSI/SMACNA-006-2006 HVAC DUCT CONSTRUCTION STANDARDS METAL AND FLEXIBLE 3RD EDITION. CONNECTIONS OF METAL DUCTS AND THE INNER CORE OF FLEXIBLE DUCTS SHALL BE MECHANICALLY FASTENED. OPENINGS SHALL BE SEALED WITH MASTIC, TAPE, AEROSOL SEALANT, OR OTHER DUCT-CLOSURE SYSTEM THAT MEETS THE APPLICABLE REQUIREMENTS OF UL 181, UL 181A, OR UL 181B. IF MASTIC OR TAPE IS USED TO SEAL OPENINGS GREATER THAN 1/4 INCH, THE COMBINATION OF MASTIC AND EITHER MESH OR TAPE SHALL BE USED. PORTIONS OF SUPPLY-AIR AND RETURN-AIR DUCTS CONVEYING HEATED OR COOLED AIR LOCATED IN ONE OR MORE OF THE FOLLOWING SPACES SHALL BE INSULATED TO A MINIMUM INSTALLED LEVEL OF R-8: OUTDOORS; OR IN A SPACE BETWEEN THE ROOF AND AN INSULATED CEILING; OR IN A SPACE DIRECTLY UNDER A ROOF WITH FIXED VENTS OR OPENINGS TO THE OUTSIDE OR UNCONDITIONED SPACES; OR IN AN UNCONDITIONED CRAWLSPACE; OR IN OTHER UNCONDITIONED SPACES. PORTIONS OF SUPPLY-AIR DUCTS THAT ARE NOT IN ONE OF THESE SPACES, INCLUDING DUCTS BURIED IN CONCRETE SLAB, SHALL BE INSULATED TO A MINIMUM INSTALLED LEVEL OF R-4.2 OR BE ENCLOSED IN DIRECTLY CONDITIONED SPACE.
4. DUCTS EXPOSED TO WEATHER TRANSPORTING CONDITIONED AIR: 2" RIGID DUCTLINER, OR 2" RIGID DUCTBOARD ON OUTSIDE OF DUCTWORK WITH ALUMINUM CLADDING. EXTERNAL DUCTBOARD AND CLADDING ARE REQUIRED FOR ALL EXPOSED DUCTS DOWNSTREAM OF HIGH EFFICIENCY FILTERS (80% OR GREATER). DUCTWORK SEALANT: NON-HARDENING, WATER/FIRE RESISTIVE. HYDRO-STOP INC. "PREMIUMCOAT" SYSTEM ON ALL JOINTS AND ALL SURFACES OF DUCTWORK.
5. ALL REFRIGERANT PIPING, AND OTHER PIPING CONVEYING FLUIDS ABOVE AND/OR BELOW AMBIENT TEMPERATURE, THAT IS EXPOSED TO WEATHER SHALL BE INSULATED PER CURRENT TITLE 24 REQUIREMENTS AND SHALL BE INSTALLED WITH ALUMINUM JACKETING.
6. DUCTWORK SHALL BE ASTM RATED, GALVANIZED WITH G90 ZINC COATING. SEALANT: NON-HARDENING, WATER/FIRE RESISTIVE. FLEXIBLE DUCT ALLOWED LAST 5 FEET OF BRANCH UNO. PROVIDE MVD AT EACH BRANCH.
7. FLEXIBLE DUCT LENGTH LIMITATION: FACTORY-MADE FLEXIBLE AIR DUCTS AND CONNECTORS SHALL NOT BE MORE THAN 5 FEET IN LENGTH, AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OR FITTINGS. FLEXIBLE AIR DUCTS SHALL BE PERMITTED TO BE USED AS AN ELBOW AT A TERMINAL DEVICE (CMC 603.4.1). EXCEPTION: RESIDENTIAL OCCUPANCIES.
8. ALL FLEXIBLE DUCTWORK SHALL HAVE NON-POROUS INNER CORES AND SHALL BE UL 181 LISTED. R-VALUES FOR DUCT INSULATION SHALL BE PER THE CURRENT CA TITLE 24 REQUIREMENTS.
9. FLEXIBLE DUCTWORK SHALL BE THERMAFLEX MKC, FLEXMASTER 3B, OR EQUAL.
10. ACOUSTICAL FLEX DUCT SHALL BE CASCO SILENT FLEX II OR EQUAL, EXCEPT WHERE PROHIBITED BY TITLE 24 REQUIREMENTS FOR NON-POROUS INNER CORES.
11. ALL FACTORY & FIELD FABRICATED DUCT SYSTEMS & PRESSURE SENSITIVE TAPES, MASTICS OR OTHER CLOSURE SYSTEMS SHALL COMPLY WITH UL 181.
12. JOINTS & SEAMS OF CONCEALED DUCT SYSTEMS & THEIR COMPONENTS SHALL BE SEALED WITH NON-HARDENING, WATER RESISTANT, FIRE RESISTIVE SEALANT, COMPATIBLE WITH MATING MATERIALS; DUCT TAPE SHALL NOT BE ALLOWED AS DUCT SEALER. EXPOSED DUCTWORK SHALL BE NEATLY JOINED AND FASTENED WITH SHEET METAL SCREWS.
13. DUCT SYSTEMS USED WITH BLOWER TYPE EQUIPMENT WHICH ARE PORTIONS OF A HEATING, COOLING, ABSORPTION, EVAPORATIVE COOLING OR OUTDOOR AIR VENTILATION SYSTEM SHALL BE SIZED IN ACCORDANCE WITH CHAPTER 17 OF THE CALIFORNIA MECHANICAL CODE.
14. DUCT LEAKAGE TESTS (CMC SECTION 603.9.2): DUCTWORK SHALL BE LEAK-TESTED IN ACCORDANCE WITH THE SMACNA HVAC AIR DUCT LEAKAGE TEST MANUAL. REPRESENTATIVE SECTIONS TOTALING NOT LESS THAN 10 PERCENT OF THE TOTAL INSTALLED DUCT AREA SHALL BE TESTED. WHERE THE TESTED 10 PERCENT FAIL TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION, THEN 40 PERCENT OF THE TOTAL INSTALLED DUCT AREA SHALL BE TESTED. WHERE THE TESTED 40 PERCENT FAIL TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION, THEN 100 PERCENT OF THE TOTAL INSTALLED DUCT AREA SHALL BE TESTED. SECTIONS SHALL BE SELECTED BY THE BUILDING OWNER OR DESIGNATED REPRESENTATIVE OF THE BUILDING OWNER. POSITIVE PRESSURE LEAKAGE TESTING SHALL BE PERMITTED FOR NEGATIVE PRESSURE DUCTWORK.
15. PROTECT ALL EQUIPMENT AND DUCT OPENINGS DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
16. ENVIRONMENTAL AIR DUCT EXHAUST SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE, 10 FEET FROM A FORCED AIR INLET, 3 FEET FROM OPENINGS INTO THE BUILDING, AND SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY (CMC 502.1). SEE CMC 502.2.2 FOR DISCHARGE REQUIREMENTS FOR PRODUCT CONVEYING DUCTS. PROVIDE BACK-DRAFT DAMPERS ON EXHAUST SYSTEMS PER CMC 504.1.1.
17. PROVIDE MINIMUM 26 GAGE SHEET METAL AND UL LISTED PENETRATION FIRE STOPPING FOR ALL DUCTS PENETRATING RATED ASSEMBLIES. ALL VERTICAL AND HORIZONTAL PENETRATIONS OF RATED ASSEMBLIES SHALL COMPLY WITH CHAPTER 7 OF THE CBC, INCLUDING FIRE DAMPERS AND RATED SHAFT ENCLOSURES WHERE REQUIRED, COORDINATE WITH THE ARCHITECT AND GC PRIOR TO INSTALLATION.

SYMBOLS

- RETURN DUCT DROP
- SUPPLY DUCT DROP
- EXHAUST DUCT DROP
- SUPPLY DUCT RISER
- RETURN DUCT RISER
- EXHAUST DUCT RISER
- CEILING DIFFUSER
- RETURN REGISTER
- EXHAUST REGISTER
- ROUND DUCT RISER
- ROUND DUCT DROP
- SIDEWALL SUPPLY DIFFUSER (SWD)
- SIDEWALL RETURN/ EXHAUST DIFFUSER (SWR/SWE)
- MANUAL VOLUME DAMPER WITH LOCKING QUADRANT
- DL — DOOR LOUVER
- UC — DOOR UNDERCUT
- SOUND LINED DUCT
- FD — FIRE DAMPER (FD)
- SFD — SMOKE & FIRE DAMPER (SFD)
- DUCT DROP
- SD — SMOKE DETECTOR
- PIPE/DUCT BREAK
- MOTORIZED DAMPER OR DUCT SMOKE DETECTOR
- WALL CLEAN OUT
- WATER HAMMER ARRESTOR
- PIPE DROP
- PIPE RISER
- POINT OF CONNECTION
- POINT OF DISCONNECTION
- WASTE
- VENT
- FLOOR DRAIN
- FLOOR SINK
- PRESSURE & TEMPERATURE RELIEF VALVE
- CHECK VALVE
- BALL VALVE
- BALL VALVE/MEMORY STOP
- PRESSURE REDUCING VALVE
- AUTOMATIC BALANCING VALVE
- MANUAL SERVICE/BALANCING VALVE
- BUTTERFLY VALVE
- 2 WAY CONTROL VALVE
- 3 WAY CONTROL VALVE
- TRIPLE DUTY VALVE
- UNION
- REDUCER
- STRAINER
- SOV IN RISER
- AUTOMATIC AIR VENT
- P — PRESSURE GAUGE
- T — THERMOMETER
- A — AQUASTAT
- E — BY ELECTRICAL
- M — BY MECHANICAL
- B — BYPASS TIMER
- R — RELAY
- T — THERMOSTAT
- S — SENSOR
- LOW VOLTAGE
- LINE VOLTAGE
- MANUAL SWITCH
- NO CONTACT
- NC CONTACT
- OL — OVERLOAD CONTACT
- M — MOTOR
- S — MOTOR STARTER
- TIME SWITCH
- FLOW SWITCH
- DP — DIFFERENTIAL PRESSURE SWITCH
- TEMPERATURE SENSOR
- TEST PORT
- FLEXIBLE PIPE CONNECTOR
- F — FIRE
- COLD WATER
- HOT WATER
- HOT WATER RETURN
- G — GAS
- DEMOLITION WORK

ABBREVIATIONS

A	COMPRESSED AIR
AC	AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AFS	AUTOMATIC FIRE SPRINKLER SYSTEM
AH	AIR HANDLER
AHJ	AUTHORITY HAVING JURISDICTION
AI	ANALOG INPUT
AO	ANALOG OUTPUT
AP	ACCESS PANEL
ARCH	ARCHITECTURAL DRAWINGS
AW	ACID WASTE
BDD	BACK DRAFT DAMPER
BHP	BRAKE HORSEPOWER
BLDG	BUILDING
BS	BIRD SCREEN
BTU	BRITISH THERMAL UNIT
CA	COMBUSTION AIR
CBC	CALIFORNIA BUILDING CODE
CD	CEILING DIFFUSER
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CGC	CALIFORNIA GREEN CODE
CHS	CHILLED WATER SUPPLY
CHR	CHILLED WATER RETURN
CLG	CEILING
CMC	CA MECHANICAL CODE
CO	CLEANOUT
CONT	CONTINUATION
COTG	CLEAN OUT TO GRADE
CR	CONTROL RELAY
CRC	CALIFORNIA RESIDENTIAL CODE
CW	COLD WATER DOMESTIC
D	CONDENSATE OR EQUIPMENT DRAIN
DDC	DIRECT DIGITAL CONTROL
DB	DRY BULB TEMPERATURE DEGREES F
DCW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER
DI	DIGITAL INPUT
DIA	DIAMETER
DL	DOOR LOUVER
DN	DOWN
DO	DIGITAL OUTPUT
DPS	DIFFERENTIAL PRESSURE SWITCH
DPT	DIFFERENTIAL PRESSURE TRANSMITTER
DSP	DRY STANDPIPE
DTR	DUCT THROUGH ROOF
DWGS	DRAWINGS
DX	DIRECT EXPANSION
(E)	EXISTING
EA	EXHAUST AIR
EER	ENERGY EFFICIENCY RATING
EF	EXHAUST FAN
EFF	EFFICIENCY
ELEC	ELECTRICAL DRAWINGS
ELEV	ELEVATION
ER	EXHAUST REGISTER
ESP	EXTERNAL STATIC PRESSURE
EWH	ELECTRIC WATER HEATER
(F)	FUTURE
FC	FAN COIL
FA	FREE AREA
FACP	FIRE ALARM CONTROL PANEL
FCO	FLOOR CLEAN OUT
FD	FIRE DAMPER
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FLA	FULL LOAD AMPS
FLD	FLOOR DRAIN
FLR	FLOOR
FPM	FEET PER MINUTE
FS	FLOOR SINK
FT	FEET
G	GAS LINE (FUEL GAS)
GA	GAUGE
GAL	GALLONS
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GI	GALVANIZED IRON
GPM	GALLONS PER MINUTE
H	HUMIDITY
HB	HOSE BIBB
HP	HORSEPOWER
HR	HEATING WATER RETURN
HS	HEATING WATER SUPPLY
HSPF	HEATING SEASONAL PERFORMANCE FACTOR
HW	HOT WATER
HWR	HOT WATER RETURN DOMESTIC
HZ	HERTZ
IW	INDIRECT WASTE
IWG	INCHES WATER GAUGE
KW	KILOWATT
LAV	LAVATORY
LAT	LEAVING AIR TEMP
LWT	LEAVING WATER TEMP
M	MOTOR / MOTORIZED
MBH	THOUSAND BTU PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MD	MANUAL DAMPER
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MS	MOTOR STARTER
MTD	MOUNTED
MTL	METAL
MVD	MANUAL VOLUME DAMPER
(N)	NEW
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OBD	OPPOSED BLADE DAMPER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OFL	OVERFLOW RAINWATER LEADER
OSA	OUTSIDE AIR
OSY	OUTSIDE STEM & YOKE
OW	OILY WASTE
P&T	PRESSURE & TEMPERATURE RELIEF
CHR	PROCESS CHILLED WATER RETURN
PCHS	PROCESS CHILLED WATER SUPPLY
PH	PHASE
PIV	POST INDICATOR VALVE
PLCS	PLACES
POC	POINT OF CONNECTION
POT	CHEMICAL POT FEEDER
PPM	PARTS PER MILLION
PRESS	PRESSURE
PRV	PRESSURE REDUCING VALVE
PSI	POUNDS PER SQUARE INCH
(R)	REMOVE
RA	RETURN AIR
RD	ROOF DRAIN
REFRIG	REFRIGERATION
REQD	REQUIRED
RH	REFRIGERANT HOT GAS LINE
RL	REFRIGERANT LIQUID LINE
RLA	RATED LOAD AMPS
RPM	REVOLUTIONS PER MINUTE
RS	REFRIGERANT SUCTION LINE
RWL	RAIN WATER LEADER
RZ	RADIANT ZONE
RZR	RADIANT ZONE RETURN
RZS	RADIANT ZONE SUPPLY
SA	SUPPLY AIR
SD	STORM DRAIN / SMOKE DETECTOR
SE	SEASONAL EFFICIENCY
SEER	SEASONAL ENERGY EFFICIENCY RATING
SF	SQUARE FEET
SFD	SMOKE & FIRE DAMPER
SL	SOUNDLINER
SMH	SEWER MAN HOLE
SOV	SHUT OFF VALVE
SP	STATIC PRESSURE
SPEC	SPECIFICATIONS
SS	STAINLESS STEEL
SSC	SOLID STATE SPEED CONTROL
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL DRAWINGS
SW	SOFTENED WATER / SWITCH
SWD	SIDE WALL DIFFUSER
SWE	SIDE WALL EXHAUST
SWR	SIDE WALL RETURN
T24	CALIFORNIA ENERGY CODE
TCP	TEMPERATURE CONTROL PANEL
TG	TRANSFER GRILLE
TH	THERMOSTAT
TS	TEMPERATURE SENSOR
TSTAT	THERMOSTAT
TW	TEMPERED WATER
TXV	THERMOSTATIC EXPANSION VALVE
TYP	TYPICAL
U	URINAL
UC	UNDERCUT
UH	UNIT HEATER
UL	UNDERWRITERS' LABORATORIES, INC
UNO	UNLESS NOTED OTHERWISE
UTR	UP THROUGH ROOF
UVC	ULTRAVIOLET SUBTYPE C
V	SANITARY VENT
VA	VOLT AMPS
VAC	HOUSE VACUUM / VOLTS AC
VB	VACUUM BREAKER
VR	VANDAL RESISTANT
VTR	VENT THROUGH ROOF
W	SANITARY WASTE
W.C.	WATER COLUMN
WC	WATER CLOSET
WCO	WALL CLEAN OUT
WF	WALL FURNACE
WH	WATER HEATER
WHA	WATER HAMMER ARRESTOR
WM	WATER METER
WT	WEIGHT

MECHANICAL SHEET INDEX

M1.1 ABBREVIATIONS, SYMBOLS & GENERAL NOTES
M1.2 EQUIPMENT SCHEDULES & COMPLIANCE NOTES
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M2.1 OVERALL MECHANICAL FLOOR PLAN
M2.2 ENLARGED MECHANICAL FLOOR PLAN
M2.3 ENLARGED MECHANICAL FLOOR PLAN
M2.4 ENLARGED MECHANICAL FLOOR PLANS

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

EST.1995
MEC INC.
MECHANICAL ENGINEERING CONSULTANTS INC.
315 E Canon Perdido, Ste B
Santa Barbara, CA 93101
Tel (805) 957-4632

LICENSED ENGINEER · M-25658 · EXP. 9/30/2026 · STATE OF CALIFORNIA

OJAI PERMANENT SUPPORTIVE HOUSING
Public Works Yard, Montgomery St
Ojai, CA 93023

REVISIONS

#	DATE	DESCRIPTION

JOB NUMBER: DJA-2501
DATE: 07/24/2025

ABBREVIATIONS, SYMBOLS, & GENERAL NOTES

M1.1

MULTIZONE SPLIT SYSTEM HEAT PUMPS (RESIDENTIAL UNITS)

TAG	MANUFACTURER	MODEL (INDOOR UNIT)	CFM (LO-MED-HI)	ESP	AHRI COOLING (MBH)	AHRI HEATING (MBH)	ELECTRICAL VOLT-PH-Hz	ELECTRICAL MCA	APPROX WEIGHT (LBS)	SERVES	NOTES
FC 101	SAMSUNG	AM012 FEVDCG	293-321-364	N/A	12	13.5	208/230-1-60	0.31	20.9	101 SINGLE	1 2 3
FC 102	SAMSUNG									102 SINGLE	1 2 3
FC 103	SAMSUNG									103 SINGLE	1 2 3
FC 104	SAMSUNG									104 SINGLE	1 2 3
FC 105	SAMSUNG									105 SINGLE	1 2 3
FC 106	SAMSUNG									106 SINGLE	1 2 3
FC 107	SAMSUNG									107 SINGLE	1 2 3
FC 108	SAMSUNG									108 SINGLE	1 2 3
FC 109	SAMSUNG									109 SINGLE	1 2 3
FC 110	SAMSUNG									110 SINGLE	1 2 3
FC 111	SAMSUNG									111 SINGLE	1 2 3
FC 112	SAMSUNG	AM018 FEVDCG	424-487-555	N/A	18	20	208/230-1-60	0.44	26.5	112 DOUBLE	1 2 3
FC 113	SAMSUNG									113 SINGLE	1 2 3
FC 114	SAMSUNG									114 SINGLE	1 2 3
FC 115	SAMSUNG									115 SINGLE	1 2 3
FC 116	SAMSUNG									116 SINGLE	1 2 3
FC 117	SAMSUNG									117 SINGLE	1 2 3
FC 118	SAMSUNG									118 SINGLE	1 2 3
FC 119	SAMSUNG	AM018 FEVDCG	424-487-555	N/A	18	20	208/230-1-60	0.44	26.5	119 DOUBLE	1 2 3
FC 120	SAMSUNG									120 SINGLE	1 2 3
FC 121	SAMSUNG									121 SINGLE	1 2 3
FC 122	SAMSUNG									122 SINGLE	1 2 3
FC 123	SAMSUNG									123 SINGLE	1 2 3
FC 124	SAMSUNG									124 SINGLE	1 2 3
FC 125	SAMSUNG									125 SINGLE	1 2 3
FC 126	SAMSUNG									126 SINGLE	1 2 3
FC 127	SAMSUNG									127 SINGLE	1 2 3
FC 128	SAMSUNG									128 SINGLE	1 2 3
FC 129	SAMSUNG									129 SINGLE	1 2 3
FC 130	SAMSUNG									130 SINGLE	1 2 3

TAG	MANUFACTURER	MODEL (OUTDOOR UNIT)	AHRI COOLING (MBH)	AHRI HEATING (MBH)	SEER2/HSPF2	ELECTRICAL VOLT-PH-Hz	ELECTRICAL MCA	ELECTRICAL MOCP	ELECTRICAL FAN (FLA)	ELECTRICAL COMP (RLA)	APPROX WEIGHT (LBS)	NOTES
HP 1	SAMSUNG	AM048 FCMDCG	48	54	21.3/10.5	208/230-1-60	24	30	1.2 (x2)	19.3	243.6	
HP 2	SAMSUNG	AM048 FCMDCG	48	54	21.3/10.5	208/230-1-60	24	30	1.2 (x2)	19.3	243.6	
HP 3	SAMSUNG	AM036 FCMDCG	38	42	22.0/11.0	208/230-1-60	22	30	1.2 (x2)	19.3	243.6	
HP 4	SAMSUNG	AM060 FCMDCG	60	66	20.0/10.2	208/230-1-60	32	40	1.2 (x2)	19.3	243.6	
HP 5	SAMSUNG	AM060 FCMDCG	60	66	20.0/10.2	208/230-1-60	32	40	1.2 (x2)	19.3	243.6	
HP 6	SAMSUNG	AM036 FCMDCG	38	42	22.0/11.0	208/230-1-60	22	30	1.2 (x2)	19.3	243.6	
HP 7	SAMSUNG	AM048 FCMDCG	48	54	21.3/10.5	208/230-1-60	24	30	1.2 (x2)	19.3	243.6	
HP 8	SAMSUNG	AM048 FCMDCG	48	54	21.3/10.5	208/230-1-60	24	30	1.2 (x2)	19.3	243.6	

(1) PROVIDE FACTORY ADVANCED WIRED CONTROLLER. INSTALL PER MFR'S INSTRUCTIONS. (2) PROVIDE DRAIN PAN LEVEL SENSOR ACCESSORY PER EQUIPMENT SUPPLIER'S RECOMMENDATION AND OBSERVE MFR'S WIRING INSTRUCTIONS FOR UNIT SHUTDOWN IN THE EVENT OF PRIMARY CONDENSATE DRAIN BLOCKAGE.
(3) PROVIDE AIR CLEANER, IWAVE-M #54XY42. 24VAC, POWERED BY THE FAN COIL UNIT, NO DEDICATED POWER SUPPLY. INSTALL PER MANUFACTURER'S INSTRUCTIONS. (4) INTEGRAL CONDENSATE LIFT MECHANISM, MAX 29" LIFT. (5) PROVIDE FACTORY SEACOAST-OPERATION CORROSION PROTECTION OPTION.
(–) PROVIDE DRAIN TRENCH WITH GRAVEL FILL AROUND OUTDOOR UNIT MOUNTING PAD TO CAPTURE CONDENSATION RUNOFF. (–) PROVIDE MCM-A300UN CENTRAL CONTROLLER AND MIM-D01AUN DATA MANAGEMENT SERVER FOR WEB-INTERFACE. SEE CONTROLS DRAWINGS.
(–) PROVIDE AIDOO PRO SAMSUNG NASA THERMOSTAT ADAPTER, #AZAI6WSPSA2, AND VENSTAR T8900 THERMOSTAT.
(–) MULTI-SPLIT. 3 FAN COILS, 1 OUTDOOR UNIT. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE ALL REQUIRED REFRIGERANT PIPING COMPONENTS, INCLUDING BRANCHES AND/OR HEADERS, FOR A COMPLETE WORKING INSTALLATION.
SEE VRF PIPING SCHEMATICS, SHEET M3.2. CONTRACTOR TO OBSERVE MANUFACTURER'S REFRIGERANT LINESET LENGTH LIMITATIONS AND VERIFY REQUIRED PIPING LENGTHS PRIOR TO EQUIPMENT INSTALLATION.

VRF SYSTEM INSULATION SPECIFICATION

INSULATION SPECIFICATION:

MATERIAL: LOW-DENSITY EPDM CLOSED-CELL ELASTOMERIC FOAM, CFC AND HCFC GAS FREE WITH OVERLAP SEAL.

THERMAL CONDUCTIVITY: 0.235 (BTU*in/hr*ft²*°F) AT 75°F.

WATER VAPOR PERMEABILITY: <0.03 PERM (4.38 x 10^11 g/Pa*s*m) PER ASTM E96.

WATER ABSORPTION: <0.2% BY VOLUME PER ASTM C 209.

WORKING TEMPERATURE: -70°F TO 257°F (-57°C TO 125°C) CONTINUOUS PER ASTM C 411.

SURFACE BURNING CHARACTERISTICS: MEETS 25/50 FLAME-SPREAD/ SMOKE-GENERATED PER UL723 AND ASTM E84. ADDITIONALLY MEETS UL-945 V-A, V-0 AND IS SELF-EXTINGUISHING PER ASTM D 635.

UV RESISTANT: EPDM PROVIDES UV RESISTANCE IN ACCORDANCE WITH ASTM G7/G90.

OZONE RESISTANT: MEETS ASTM D 1171.

TITLE 24 INSULATION WALL THICKNESS SPECIFICATION:

HOT GAS PIPES: ABOVE 200°F (3-PIPE HEAT RECOVERY SYSTEM) USE 2½" WALL THICKNESS;
BELOW 200°F (2-PIPE HEAT RECOVERY SYSTEMS) USE 1½" WALL THICKNESS;
(HEAT PUMPS AND LINE SETS FOLLOW THE SAME ABOVE REQUIREMENTS BASED ON PIPE TEMPERATURES).
NOTE: 2½" THICKNESS REQUIRES DOUBLE LAYERS TO MEET 25/50 FIRE/SMOKE CODES.

LIQUID PIPES: 1" WALL THICKNESS

SUCTION GAS PIPES: 1" WALL THICKNESS FOR LESS THAN 1" PIPE;
1½" WALL THICKNESS FOR GREATER THAN 1" PIPE

CODE COMPLIANCE

ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING, BUT NOT LIMITED TO:
2022 CA MECHANICAL CODE (CMC)
2022 CA PLUMBING CODE (CPC)
2022 CA ELECTRICAL CODE (CEC)
2022 CA BUILDING CODE (CBC)
2022 CA GREEN CODE (CGBSC)
2022 TITLE 24 ENERGY EFFICIENCY STANDARDS (CEnC)

TITLE 24 CERTIFICATES

THE INSTALLING CONTRACTOR SHALL COORDINATE AND PROVIDE ALL REQUIRED TITLE 24 INSTALLATION (NRCI), ACCEPTANCE (NRCA), & VERIFICATION (NRCV) CERTIFICATES, INCLUDING THOSE REQUIRING COMPLETION BY AN ACCEPTANCE TEST TECHNICIAN (ATT), AS REQUIRED IN THE TITLE 24 COMPLIANCE DOCUMENTS. CONTRACTOR SHALL COMPLETE, AND PROVIDE THESE FORMS TO THE INSPECTOR, AS REQUIRED.

COORDINATION

COORDINATION WITH OTHER TRADES SHALL BE A PART OF THIS PROJECT AND SHALL BE INCLUDED IN THE CONTRACTOR'S COST. COORDINATE ROUTING AND ELEVATIONS OF ALL DUCTWORK AND EQUIPMENT BEFORE FABRICATION AND INSTALLATION. REPORT TO THE ARCHITECT ANY CONFLICTS THAT CAN NOT BE RESOLVED IN FIELD PRIOR TO FABRICATION AND INSTALLATION. NO ADDITIONAL CHARGES WILL BE ALLOWED FOR WORK PERFORMED RESULTING FROM A LACK OF COORDINATION.

REFRIGERANT PIPING NOTES

1. PROVIDE BRAZED IN ISOLATION VALVES ON ALL BRANCHES FROM THE BC CONTROLLER, USED OR UN USED.
2. REFRIGERANT PIPING SHALL BE ACR COPPER WITH BRAZED FITTINGS. NITROGEN PURGE ALL BRAZING OPERATIONS.
3. FOLLOW THE ALL OF THE MANUFACTURERS SPECIFIC PIPING INSTALLATION RULES FOR FITTINGS, PIPE LENGTH LIMITS, ELEVATION LIMITS AND INSULATION.
4. EVACUATE AND LEAK TEST ALL PIPING PRIOR TO CHARGING WITH REFRIGERANT.
5. MAINTAIN REQUIRED SERVICE AND AIR FLOW CLEARANCE AROUND ALL MECHANICAL EQUIPMENT.
6. ALL REFRIGERANT PIPING INSULATION EXPOSED TO WEATHER SHALL BE CLAD WITH ALUMINUM.

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LICENSED ENGINEER
ANGELINA VOSS, ROSS
M-25658
EXP. 8/30/2026
STATE OF CALIFORNIA

OJAI PERMANENT SUPPORTIVE HOUSING
Public Works Yard, Montgomery St
Ojai, CA 93023

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EQUIPMENT SCHEDULES & COMPLIANCE NOTES

M1.2

SINGLE ZONE SPLIT SYSTEM HEAT PUMPS

TAG	MANUFACTURER	MODEL (INDOOR UNIT)	CFM (LO-MED-HI)	OSA	ESP	ELECTRICAL			APPROX WEIGHT (LBS)
						VOLT-PH-Hz	MCA	MOCP	
FC A	SAMSUNG	AM060 FEZDCG	1113-1391-1769	700	1.0	208/230-1-60	7.5	15	175
FC B	SAMSUNG	AM036 DNZDCG	901-1074-1229	180	0.8	(3)			126

TAG	MANUFACTURER	MODEL (OUTDOOR UNIT)	AHRI COOLING (MBH)	AHRI HEATING (MBH)	SEER2/HSPF2	ELECTRICAL					APPROX WEIGHT (LBS)	NOTES	SERVES
						VOLT-PH-Hz	MCA	MOCP	FAN (FLA)	COMP (RLA)			
HP A	SAMSUNG	AM060 FCMDCG	60	66	16.5/9.5	208/230-1-60	32.0	40	1.2 (x2)	19.3	244	(1)(2) (4)(5)(6)(7)(8)	02 GATHERING SPACE
HP B	SAMSUNG	AM036 DXSCCG	36	40	18.7/9.5	208/230-1-60	35.8	40	1.2 (x2)	22.6	212	(1)(2) (4)(5)(6)(7)	OFFICES & LAUNDRY

(1) INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE ALL REQUIRED REFRIGERANT PIPING COMPONENTS, INCLUDING BRANCHES AND/OR HEADERS, FOR A COMPLETE WORKING INSTALLATION. (2) PROVIDE FACTORY ADVANCED WIRED CONTROLLER. INSTALL PER MFR'S INSTRUCTIONS.
(3) INDOOR UNIT IS POWERED BY OUTDOOR UNIT. (4) PROVIDE DRAIN PAN LEVEL SENSOR ACCESSORY PER EQUIPMENT SUPPLIER'S RECOMMENDATION AND OBSERVE MFR'S WIRING INSTRUCTIONS FOR UNIT SHUTDOWN IN THE EVENT OF PRIMARY CONDENSATE DRAIN BLOCKAGE.
(5) PROVIDE NEEDLEPOINT BI-POLAR IONIZER, PLASMA AIR 602 SERIES. 24VAC, POWERED BY THE FAN COIL UNIT, NO DEDICATED POWER SUPPLY. INSTALL PER MANUFACTURER'S INSTRUCTIONS. (6) PROVIDE FACTORY SEACOAST-OPERATION CORROSION PROTECTION OPTION.
(7) PROVIDE FACTORY "VFB-_" SERIES FILTER BASE, SIZE PER MFR. PROVIDE PLEATED FILTERS, MINIMUM MERV-13.
(8) PROVIDE FACTORY SUPPLEMENTAL ELECTRIC HEATING KIT, VHK-305C. 208/230V, kW: 3.8/4.6, MCA: 29.4/32.5A, BREAKER: 30/35A.

EXHAUST & SUPPLY FANS

TAG	MANUFACTURER	MODEL	CFM	CONT. CFM	ESP (IWG)	ELECTRICAL						BACKDRAFT DAMPER	SONES	MOUNTING	APPROX WEIGHT (LBS)	SERVES	NOTES
						VOLT-PH-Hz	AMPS	WATTS	MCA	MOCP	HP						
CEF 04	PANASONIC	FV-05-11VK3	80 (1)	30 (2)	0.25	120-1-60	0.16	9.2	-	-	-	INTEGRAL	0.3	(3)	9.5	RESTROOM 04	(4) (6)
CEF 09	PANASONIC	FV-05-11VK3	80 (1)	30 (2)	0.25	120-1-60	0.16	9.2	-	-	-	INTEGRAL	0.3	(3)	9.5	RESTROOM 09	(4) (6)
CEF 10	PANASONIC	FV-11-15VK3	150 (1)	50 (2)	0.25	120-1-60	0.27	17.4	-	-	-	INTEGRAL	0.6	(3)	9.5	LAUNDRY 10	(4) (6)
CEF R	PANASONIC	FV-05-11VK3	110 (1)	30 (2)	0.25	120-1-60	0.20	12.1	-	-	-	INTEGRAL	0.3	(3)	9.5	RESTROOM RESIDENTIAL UNIT	(4)(5)(6)(7)(8)(9)
EF R	GREENHECK	SQ-9-VG	760	(10)	0.7	115-1-60	-	-	5.0	15	0.16	PROVIDE	6.0	(3)	97	RESIDENTIAL UNITS SUPPLY VENTILATION	(7) (11)

(1) "PICK-A-FLOW" SPEED SELECTOR SETTING. (2) PROVIDE PANASONIC "MULTI-SPEED WITH TIME DELAY" MODULE (FV-VS15VK1). (3) PROVIDE FACTORY VIBRATION ISOLATION HARDWARE.
(4) PROVIDE BIRD SCREEN AND WEATHER PROTECTION AT TERMINATION TO OUTDOORS. (5) PROVIDE PANASONIC CONDENSATION SENSOR MODULE (FV-CSVK1). (6) PROVIDE PANASONIC MOTION SENSOR MODULE (FV-MSVK1).
(7) CONTRIBUTES TO COMPLIANCE WITH MANDATORY REQUIREMENTS FOR VENTILATION & INDOOR AIR QUANTITY. (8) QUANTITY: 30. (9) PROVIDE FACTORY RADIATION DAMPER ACCESSORY (PC-RD05C5).
(10) PROVIDE FACTORY SPEED CONTROLLER. FAN SHALL OPERATE OPERATE CONTINUOUSLY, PROVIDE CLEARLY LABELED SHUTOFF SWITCH LOCATED IN MECHANICAL ROOM 11.
(11) PROVIDE FACTORY GALVANIZED FILTER BOX WITH 2" MERV-13 PLEATED FILTERS.

AIR TERMINAL SCHEDULE

TAG	MANUFACTURER	MODEL	APPLICATION	NOTES
SIZE A CFM	TITUS	S300 SERIES	SPIRAL DUCT SUPPLY	(1)(2)(3)(4)
SIZE B CFM	METALAIRE	5000 SERIES	CEILING SUPPLY	(1)(2)(3)(4)
SIZE C CFM	METALAIRE			(1)(2)(3)(4)
SIZE D CFM	METALAIRE	RH SERIES	RETURN	(1) (3)(4)

(1) FRAME TYPES & COLORS TO MATCH SURFACE FINISH. COORDINATE WITH ARCHITECT. (2) AIR PATTERN AS SHOWN ON PLANS.
(3) SIZING ON PLANS BASED ON ASSUMPTION OF 55% FREE AREA. VERIFY WITH MANUFACTURER.
(4) COORDINATE DIMENSIONS WITH ARCH OR INTERIOR DESIGNER. REDUCTIONS IN TOTAL AREA SHALL BE COORDINATED WITH MECHANICAL DESIGNER.
(-) FILLER PANEL FOR T-BAR APPLICATIONS.
(-) ALL ALUMINUM CONSTRUCTION EXCEPT FOR FIRE RATED ASSEMBLIES THAT REQUIRE STEEL CONSTRUCTION.

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LICENSED ENGINEER
ANGELINA VOSS ROSS
M-25658
EXP. 9/30/2026
STATE OF CALIFORNIA

OJAI PERMANENT SUPPORTIVE HOUSING
Public Works Yard, Montgomery St
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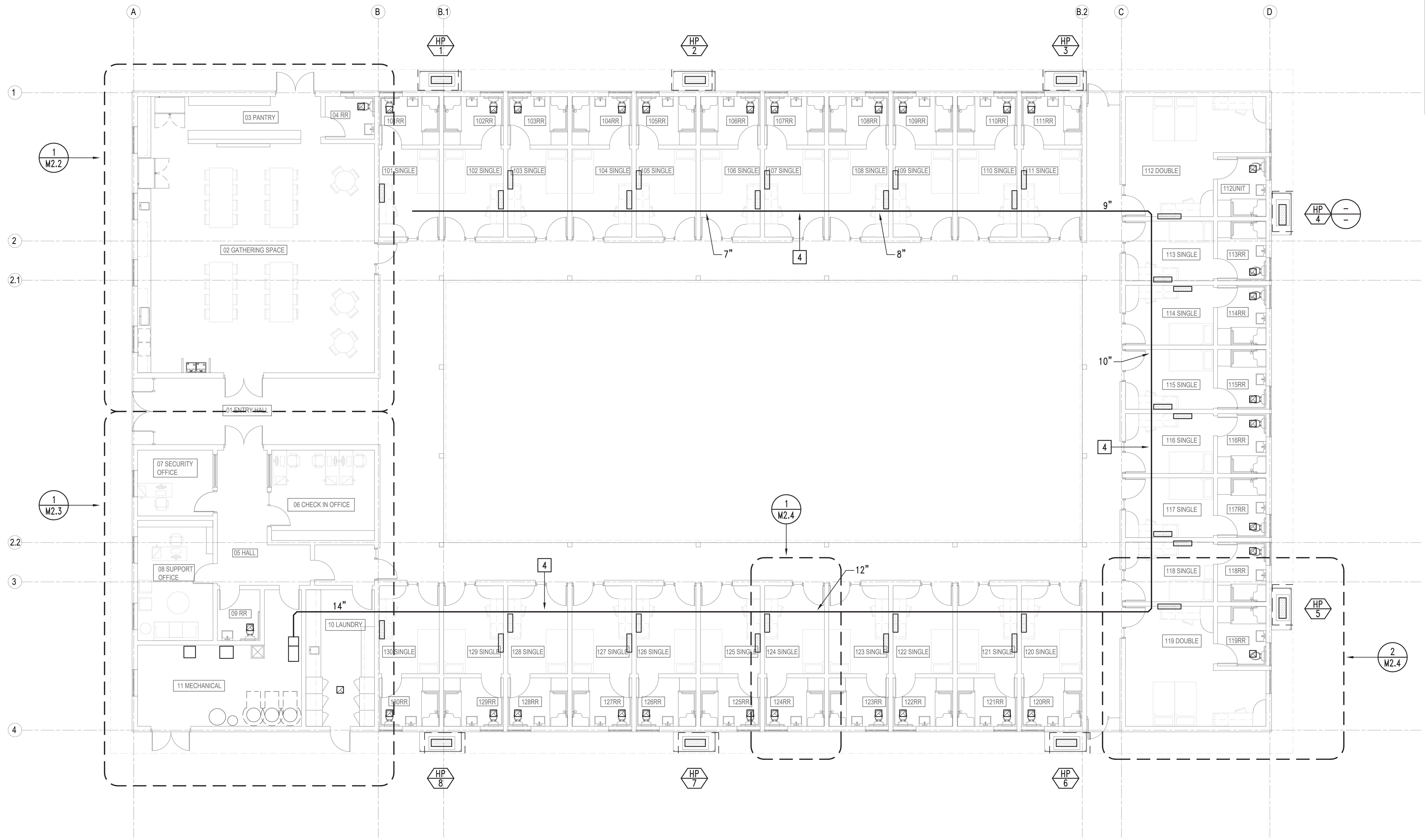
EQUIPMENT SCHEDULES & DETAILS

M1.3

KEYNOTES

1. PROVIDE REFRIGERANT LINE SET. ROUTE TO CORRESPONDING INDOOR FAN COILS, SEE EQUIPMENT SCHEDULES. INSTALL PER MFR'S INSTRUCTIONS.
2. CONFORM TO MFR-RECOMMENDED CLEARANCES FOR AIRFLOW AND MAINTENANCE.
3. PROVIDE SHIELDED COMMUNICATIONS WIRING FOR ALL EQUIPMENT IN THE VICINITY OF ELECTRICAL EQUIPMENT OR DEVICES.
4. MAIN TRUNK DUCT IN ATTIC FOR COMMON SUPPLY COMPONENT OF RESIDENTIAL VENTILATION SYSTEM, SEE OVERALL FLOOR PLAN FOR SIZE, AND ENLARGED FLOOR PLANS FOR AIR DISTRIBUTION.



OVERALL MECHANICAL FLOOR PLAN

1/8" = 1'-0"

N

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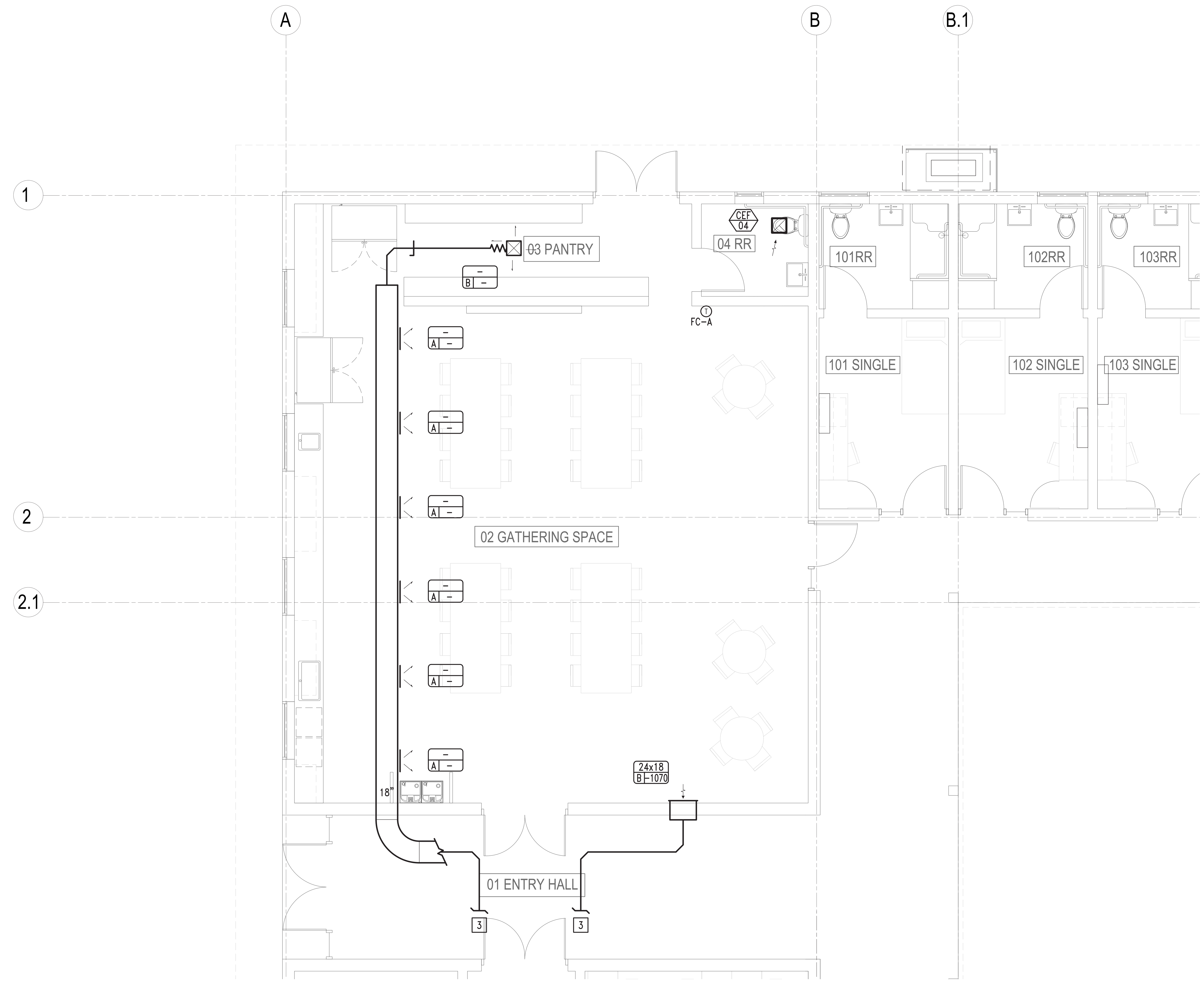
OVERALL MECHANICAL FLOOR PLAN

M2.1

KEYNOTES

1. TRANSITION DUCT FROM ROUND TO RECTANGULAR, ROUTE INTO DROPPED SOFFIT, COORDINATE WITH ARCHITECT.
2. ROUTE MIN 6" EXHAUST DUCT TO ROOF. MAINTAIN MINIMUM 3'-0" FROM OPERABLE BUILDING OPENINGS. PROVIDE WEATHER PROTECTION AND BIRD SCREEN AT TERMINATION TO OUTDOORS.
3. SEE SHEET M2.3 FOR CONTINUATION.



1 ENLARGED MECHANICAL FLOOR PLAN
1/4" = 1'-0"

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LICENSED ENGINEER ANGELIKA VON ROOS M-25658 EXP 9/30/2026 STATE OF CALIFORNIA

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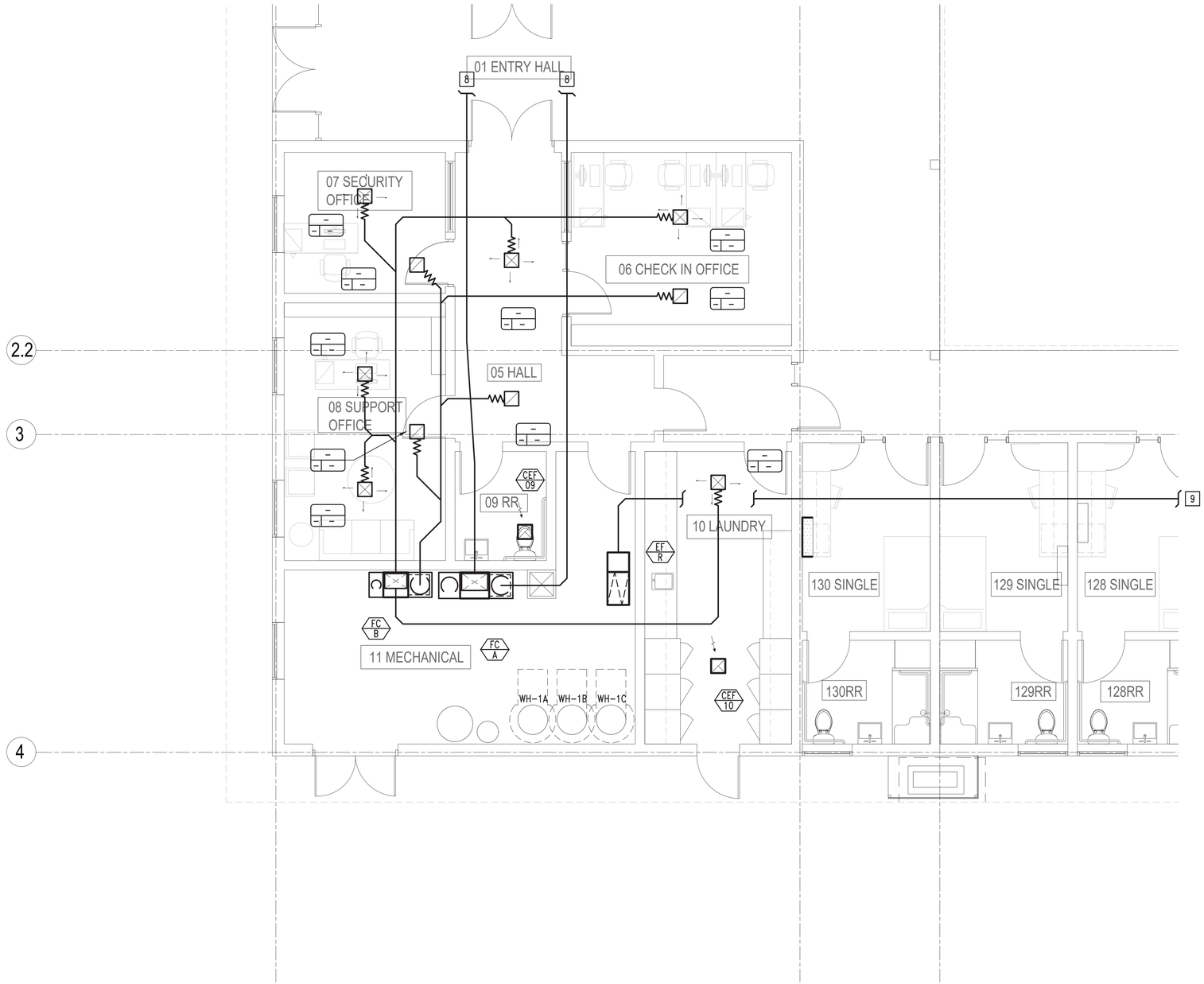
ENLARGED MECHANICAL FLOOR PLAN

M2.2



1 ENLARGED MECHANICAL FLOOR PLAN

1/4" = 1'-0"

N

KEYNOTES

1. ROUTE MIN 6" EXHAUST DUCT TO ROOF. MAINTAIN MINIMUM 3'-0" FROM OPERABLE BUILDING OPENINGS. MAINTAIN MINIMUM 3'-0" ABOVE OSA INTAKES WITHIN 10'-0". PROVIDE WEATHER PROTECTION AND BIRD SCREEN AT TERMINATION TO OUTDOORS.
2. 4" DRYER VENT. TERMINATE TO EXTERIOR WITH BACKDRAFT DAMPER, MIN 3 FEET FROM PROPERTY LINE AND OPENINGS INTO BUILDING. EXHAUST DUCT FOR DOMESTIC DRYERS SHALL BE 4 INCHES MINIMUM, AND SHALL BE METAL AND HAVE A SMOOTH INTERIOR SURFACE. DUCT SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. IF MAXIMUM LENGTH IS EXCEEDED, PROVIDE DRYER BOOSTER FAN BY ATMOSPHERE, OR EQUAL.
3. PROVIDE DRAIN PIPE AND ROUTE FAN COIL CONDENSATE DRAIN TO APPROVED RECEPTOR PER PLUMBING PLAN.
4. PROVIDE REFRIGERANT LINE SET. ROUTE TO CORRESPONDING FAN COIL. INSTALL PER MFR'S INSTRUCTIONS.
5. CONFORM TO MFR-RECOMMENDED CLEARANCES FOR AIRFLOW AND MAINTENANCE.
6. VOLUME BALANCING DAMPERS NOT READILY ACCESSIBLE IN THE ATTIC SHALL BE REMOTE, BATTERY OPERATED TYPE. COORDINATE CONTROL TERMINATION PANEL LOCATION WITH ARCHITECT, WITH EACH DAMPER LOCATION CLEARLY LABELED. INCLUDE ONE HAND HELD OPERATOR TO BE KEPT ON SITE FOR FUTURE BALANCING NEEDS. MANUFACTURER: METROPOLITAN AIR TECHNOLOGY, WWW.METAIRTECH.COM.
7. PROVIDE SHIELDED COMMUNICATIONS WIRING FOR ALL EQUIPMENT IN THE VICINITY OF ELECTRICAL EQUIPMENT OR DEVICES.
8. SEE SHEET M2.2 FOR CONTINUATION.
9. MAIN RESIDENTIAL SUPPLY VENTILATION DUCT CONTINUATION, SEE OVERALL MECHANICAL FLOOR PLAN, SHEET M2.1.

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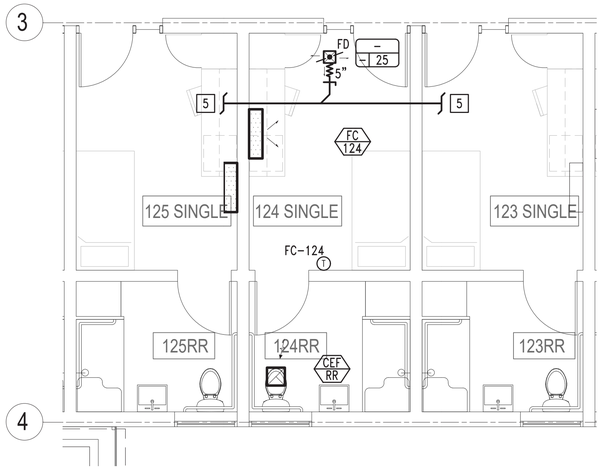
ENLARGED MECHANICAL FLOOR PLAN

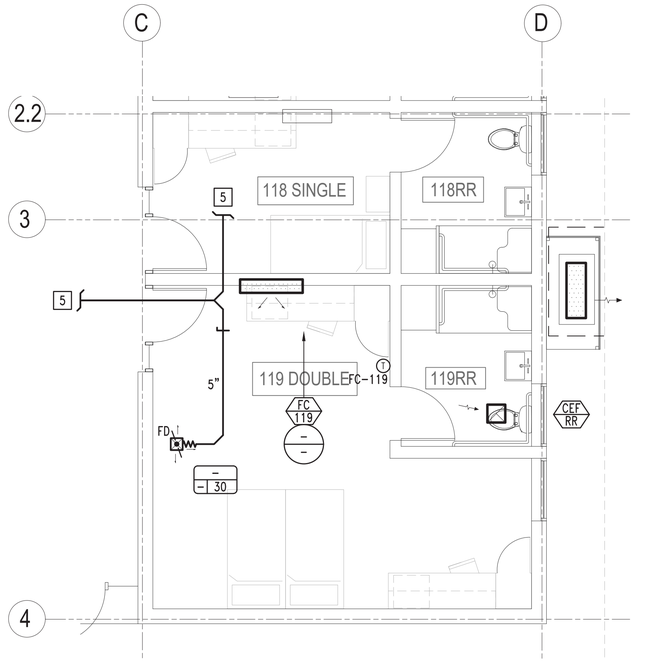
M2.3

KEYNOTES

1. ROUTE MIN 6" EXHAUST DUCT TO ROOF. MAINTAIN MINIMUM 3'-0" FROM OPERABLE BUILDING OPENINGS. PROVIDE WEATHER PROTECTION AND BIRD SCREEN AT TERMINATION TO OUTDOORS.
2. PROVIDE DRAIN PIPE AND ROUTE FAN COIL CONDENSATE DRAIN TO APPROVED RECEPTOR PER PLUMBING PLAN.
3. VOLUME BALANCING DAMPERS NOT READILY ACCESSIBLE IN THE ATTIC SHALL BE REMOTE, BATTERY OPERATED TYPE. COORDINATE CONTROL TERMINATION PANEL LOCATION WITH ARCHITECT, WITH EACH DAMPER LOCATION CLEARLY LABELED. INCLUDE ONE HAND HELD OPERATOR TO BE KEPT ON SITE FOR FUTURE BALANCING NEEDS. MANUFACTURER: METROPOLITAN AIR TECHNOLOGY, WWW.METAIRTECH.COM.
4. PROVIDE SHIELDED COMMUNICATIONS WIRING FOR ALL EQUIPMENT IN THE VICINITY OF ELECTRICAL EQUIPMENT OR DEVICES.
5. MAIN RESIDENTIAL SUPPLY VENTILATION DUCT CONTINUATION, SEE OVERALL MECHANICAL FLOOR PLAN, SHEET M2.1.



1 ENLARGED MECHANICAL FLOOR PLAN - 124
ALL SINGLE SUITES SIMILAR — 1/4" = 1'-0" — N



2 ENLARGED MECHANICAL FLOOR PLAN - 119
SUITE 112 SIMILAR — 1/4" = 1'-0" — N

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ENLARGED MECHANICAL FLOOR PLANS

M2.4

PLUMBING FIXTURES

TAG	TYPE	MINIMUM CONNECTION SIZES CW	HW	W	V	ELECTRICAL VOLTS	AMPS	SPECIFICATION
WC-1	RESIDENTIAL UNIT WATER CLOSET	3/4"	–	4"	2"	–	–	SEE ARCHITECT FOR SPECIFICATION; ANGLE STOP: CHICAGO #1016-ABCP, & FLUIDMASTER NO BURST STAINLESS STEEL HOSE.
WC-2	COMMON AREA WATER CLOSET	3/4"	–	4"	2"	–	–	SEE ARCHITECT FOR SPECIFICATION; ANGLE STOP: CHICAGO #1016-ABCP, & FLUIDMASTER NO BURST STAINLESS STEEL HOSE.
LAV-1	RESIDENTIAL UNIT LAVATORY	1/2"	1/2"	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION; SUPPLIES/STOPS: CHICAGO #1016-ABCP.
LAV-2	COMMON AREA LAVATORY	1/2"	1/2"	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION; SUPPLIES/STOPS: CHICAGO #1016-ABCP.
SH-1	SHOWER	1/2"	1/2"	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION. CONTROL VALVE SHALL BE OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE SHOWER HEAD, AND SHALL COMPLY WITH ASSE 1016/ASME A112.1016 OR ASME A112.18.1/CSA B125.1 PER CPC SECTION 408.3.
FD-1	SHOWER FLOOR DRAIN	–	–	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION.
FD-2	FLOOR DRAIN	–	–	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION. INCLUDE TRAP PRIMER CONNECTION; TRAP PRIMER: MIFAB M-500. INSTALL TRAP PRIMER ON CW SUPPLY OF FREQUENTLY USED FIXTURE WITH ISOLATION BALL SOV, WITH ACCESS.
S-1	GATHERING SPACE KITCHEN SINK	1/2"	1/2"	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION; SUPPLIES/STOPS: CHICAGO #1016-ABCP; CAST BRASS P-TRAP.
S-2	GATHERING SPACE BAR SINK	1/2"	1/2"	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION; SUPPLIES/STOPS: CHICAGO #1016-ABCP; CAST BRASS P-TRAP.
S-3	LAUNDRY SINK	1/2"	1/2"	2"	1-1/2"	–	–	SEE ARCHITECT FOR SPECIFICATION; SUPPLIES/STOPS: CHICAGO #1016-ABCP; CAST BRASS P-TRAP.
FS-1	FLOOR SINK	–	–	2"	1-1/2"	–	–	JAY R. SMITH #3110, 12" TOP, NICKEL BRONZE GRATE.
MS-1	MOP SINK	3/4"	3/4"	3"	2"	–	–	FIAT #MSB2424 WITH GRID STRAINER, MOP HANGER; FAUCET: CHICAGO #540-LD897SWXFABCP, LEVER HANDLES WITH WALL BRACE, THREADED OUTLET & VACUUM BREAKER.
DF-1	DRINKING FOUNTAIN	1/2"	–	2"	1-1/2"	–	–	HAWS #1011, DUAL HEIGHT, STAINLESS STEEL, LEAD FREE, SATIN FINISH, 6700.4 MOUNTING PLATE, 6800 CARRIER IF STUD WALL.

PLUMBING EQUIPMENT

TAG	TYPE	MIN CONNECTION SIZES & LOADS CW	HW	VOLT-ø	WATTS	AMPS	GAS INPUT (MBH)	SPECIFICATION
WH-1A	HYBRID ELECTRIC WATER HEATER	3/4"	3/4"	208/240-1	4500	21	–	RHEEM PROFESSIONAL PRESTIGE PROTERRA HYBRID ELECTRIC HEAT PUMP MODEL #PROPH80 T2 RH400-30. 72 GALLON CAPACITY; HEAT PUMP MODULE: 4,200 BTUH, 4.07 UEF. ELECTRIC ELEMENT WATTAGE: 4,500 WATTS. MINIMUM BREAKER: 30A. 24.25" DIAMETER, 77" HEIGHT, 261 LBS. INSTALL PER MFR'S INSTRUCTIONS & RECOMMENDATIONS, INCLUDING "INSTALLATION GUIDELINES TO PROVIDE OPTIMAL EFFICIENCY."
WH-1B	HYBRID ELECTRIC WATER HEATER	3/4"	3/4"	208/240-1	4500	21	–	RHEEM PROFESSIONAL PRESTIGE PROTERRA HYBRID ELECTRIC HEAT PUMP MODEL #PROPH80 T2 RH400-30. 72 GALLON CAPACITY; HEAT PUMP MODULE: 4,200 BTUH, 4.07 UEF. ELECTRIC ELEMENT WATTAGE: 4,500 WATTS. MINIMUM BREAKER: 30A. 24.25" DIAMETER, 77" HEIGHT, 261 LBS. INSTALL PER MFR'S INSTRUCTIONS & RECOMMENDATIONS, INCLUDING "INSTALLATION GUIDELINES TO PROVIDE OPTIMAL EFFICIENCY."
WH-1C	HYBRID ELECTRIC WATER HEATER	3/4"	3/4"	208/240-1	4500	21	–	RHEEM PROFESSIONAL PRESTIGE PROTERRA HYBRID ELECTRIC HEAT PUMP MODEL #PROPH80 T2 RH400-30. 72 GALLON CAPACITY; HEAT PUMP MODULE: 4,200 BTUH, 4.07 UEF. ELECTRIC ELEMENT WATTAGE: 4,500 WATTS. MINIMUM BREAKER: 30A. 24.25" DIAMETER, 77" HEIGHT, 261 LBS. INSTALL PER MFR'S INSTRUCTIONS & RECOMMENDATIONS, INCLUDING "INSTALLATION GUIDELINES TO PROVIDE OPTIMAL EFFICIENCY."

CGC WATER REDUCTION COMPLIANCE

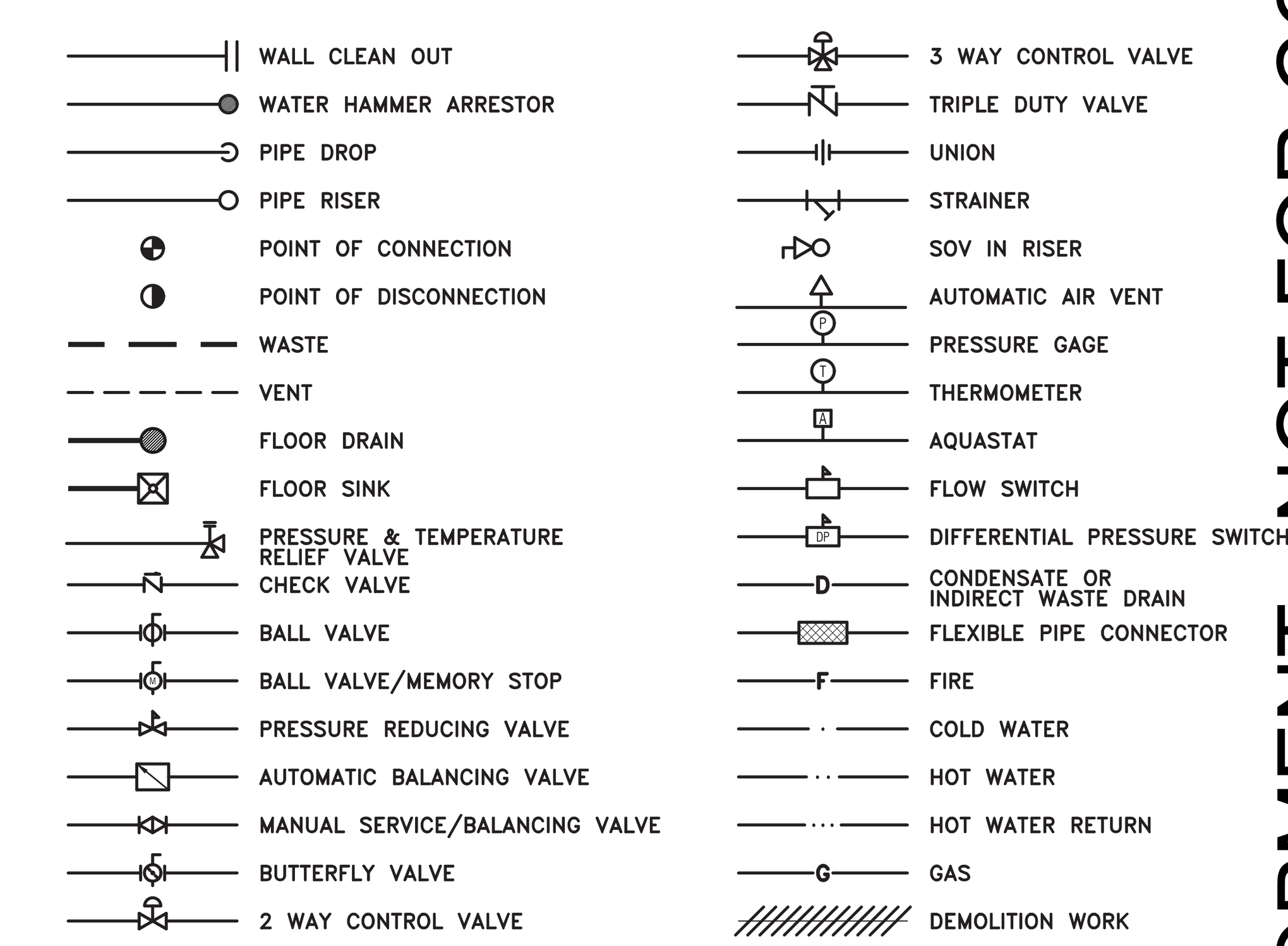
NEW PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING:

1. EFFECTIVE FLUSH OF WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
2. RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND A MINIMUM FLOW RATE OF 0.8 GPM @ 20 PSI.
3. MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON & PUBLIC USE AREAS IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM @ 60 PSI.
4. METERING FAUCETS INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE.
5. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GPM @ 60 PSI.
6. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GPM @ 80 PSI.

ABBREVIATIONS

A	COMPRESSED AIR	MH	MANHOLE
AFF	ABOVE FINISHED FLOOR	MIN	MINIMUM
AFS	AUTOMATIC FIRE SPRINKLER SYSTEM	MTD	MOUNTED
AHJ	AUTHORITY HAVING JURISDICTION	MTL	METAL
AP	ACCESS PANEL	(N)	NEW
ARCH	ARCHITECTURAL DRAWINGS	N/A	NOT APPLICABLE
BHP	BRAKE HORSEPOWER	NC	NORMALLY CLOSED
BLDG	BUILDING	NIC	NOT IN CONTRACT
BTU	BRITISH THERMAL UNIT	NTS	NOT TO SCALE
CA	COMBUSTION AIR	OD	OUTSIDE DIAMETER
CBC	CALIFORNIA BUILDING CODE	OFD	OVERFLOW DRAIN
CFH	CUBIC FEET PER HOUR	OFL	OVERFLOW RAINWATER LEADER
CGC	CALIFORNIA GREEN CODE	OW	OILY WASTE
CLG	CEILING	P&T	PRESSURE & TEMPERATURE RELIEF
CO	CLEANOUT	PLCS	PLACES
CONT	CONTINUATION	POC	POINT OF CONNECTION
COTG	CLEAN OUT TO GRADE	PPM	PARTS PER MILLION
CPC	CALIFORNIA PLUMBING CODE	PRESS	PRESSURE
CRC	CALIFORNIA RESIDENTIAL CODE	PRV	PRESSURE REDUCING VALVE
CW	COLD WATER DOMESTIC	PSI	POUNDS PER SQUARE INCH
D	CONDENSATE OR EQUIPMENT DRAIN	(R)	REMOVE
DIA	DIAMETER	RD	ROOF DRAIN
DN	DOWN	REQD	REQUIRED
DW	DISHWASHER	RLA	RATED LOAD AMPS
DWGS	DRAWINGS	RWL	RAIN WATER LEADER
(E)	EXISTING	SD	STORM DRAIN
ELEC	ELECTRICAL DRAWINGS	SF	SQUARE FEET
ELEV	ELEVATION	SMH	SEWER MAN HOLE
EWH	ELECTRIC WATER HEATER	SOV	SHUT OFF VALVE
(F)	FUTURE	SPEC	SPECIFICATIONS
FCO	FLOOR CLEAN OUT	STD	STANDARD
FF	FINISHED FLOOR ELEVATION	STL	STEEL
FL	FLOW LINE	STRUCT	STRUCTURAL DRAWINGS
FLD	FLOOR DRAIN	SW	SOFTENED WATER
FLR	FLOOR	T24	CALIFORNIA ENERGY CODE
FPM	FEET PER MINUTE	TMV	THERMOSTATIC MIXING VALVE
FS	FLOOR SINK	TW	TEMPERED WATER
FT	FEET	TYP	TYPICAL
G	GAS LINE (FUEL GAS)	U	URINAL
GAL	GALLONS	UL	UNDERWRITERS' LABORATORIES, INC.
GPC	GALLONS PER CYCLE	UNO	UNLESS NOTED OTHERWISE
GPF	GALLONS PER FLUSH	UTR	UP THROUGH ROOF
GC	GENERAL CONTRACTOR	V	SANITARY VENT
GI	GALVANIZED IRON	VAC	HOUSE VACUUM
GPM	GALLONS PER MINUTE	VB	VACUUM BREAKER
GW	GREASE WASTE	VR	VANDAL RESISTANT
HB	HOSE BIBB	VTR	VENT THROUGH ROOF
HP	HORSEPOWER	W	SANITARY WASTE
HW	HOT WATER DOMESTIC	W.C.	WATER COLUMN
HWR	HOT WATER RETURN DOMESTIC	WC	WATER CLOSET
IW	INDIRECT WASTE	WCO	WALL CLEAN OUT
KW	KILOWATT	WH	WATER HEATER
LAV	LAVATORY	WHA	WATER HAMMER ARRESTER
MBH	THOUSAND BTU PER HOUR	WM	WATER METER
MFR	MANUFACTURER	WT	WEIGHT

SYMBOLS



PLUMBING SHEET INDEX

P1.1 ABBREVIATIONS, SYMBOLS, & SCHEDULES
P1.2 SPECIFICATIONS & DETAILS
P2.1 OVERALL PLUMBING FLOOR PLAN
P2.2 ENLARGED PLUMBING FLOOR PLAN
P2.3 ENLARGED PLUMBING FLOOR PLAN
P2.4 ENLARGED PLUMBING FLOOR PLAN
P2.5 ENLARGED PLUMBING FLOOR PLAN

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

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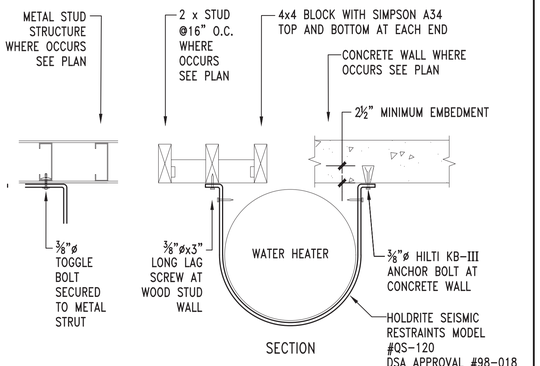
OJAI PERMANENT SUPPORTIVE HOUSING
Public Works Yard, Montgomery St
Ojai, CA 93023

REVISIONS #	DATE	DESCRIPTION

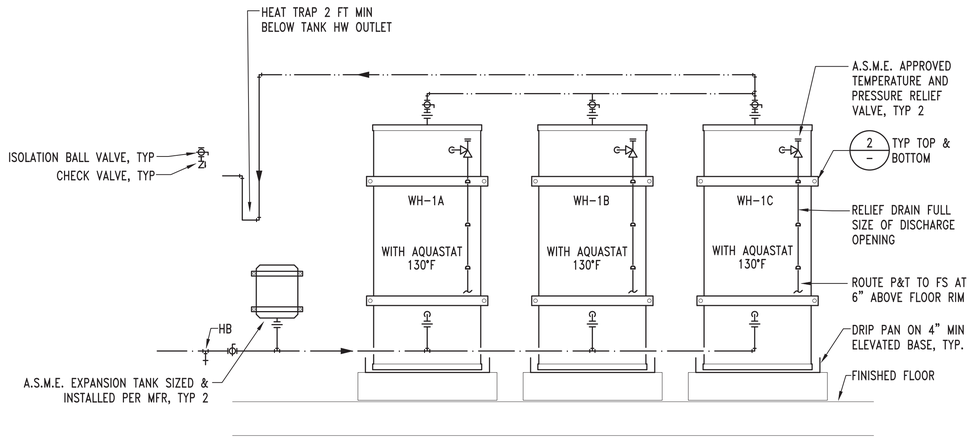
JOB NUMBER: DJA-2501
DATE: 07/24/2025

ABBREVIATIONS, SYMBOLS, & SCHEDULES

P1.1



NTS (3) ANCHORAGE DETAIL FOR WATER HEATER NTS (2)



HEAT PUMP WATER HEATERS NTS (1)

SPECIFICATIONS

PART 1 — GENERAL

1.1 WORK
A. Provide and install plumbing as shown on the Drawings and as specified herein. The Work shown on Drawings is diagrammatic. Vary piping and locate equipment as required to avoid structure and other interferences as approved by the Architect.
B. Plumbing includes:
Hot and cold water distribution systems.
Waste drains and vents.
Gas piping.
Plumbing fixtures.
Roof drainage.
C. Plumbing fixtures shall be as shown on the Architectural Drawings and specifications. Work includes trim and related construction as required. See owner for plumbing fixture specifications. Contractor to purchase and install.

1.2 QUALITY STANDARDS
A. Provide experienced, well-trained workers competent to complete the work as specified.
B. Unless approved by the Architect, provide related products and accessories from one manufacturer.
C. All work shall comply with manufacturer's instructions and governing building and safety codes, including the currently adopted California Plumbing Code, California Green Code, and the California Energy Code, Mandatory Requirements for Appliances:
a. Any appliance regulated by the Appliance Efficiency
b. Regulations, Title 20 California Code of Regulations. Install appliances only fully compliant.

1.3 SUBMITTALS
A. Submit the following after receiving the Notice to Proceed.
Submit list of materials to be provided for this work.
Submit manufacturer's specifications required to prove compliance with these specifications.
Submit manufacturer's installation instructions.
Submit Shop Drawings as required with complete details and assembly instructions.
Submit samples of proposed exposed finishes and fixtures for approval by the Architect.
B. At the time of final inspection, a manual or compact disc which includes all of the following shall be placed in the building:
1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Manufacturer's installation, operation, maintenance instructions, and warranty information for plumbing fixtures, plumbing equipment and systems, water heating systems, etc.
3. Information from local utility, water, and waste recovery providers on methods to further reduce resource consumption.
4. Instructions for maintaining gutters and downspouts and the importance of diverting rainwater at least 5 feet away from the foundation.
5. If applicable, instructions for operation and maintenance, and use guidelines for greywater system, including recommendations from landscape designer.

1.4 MATERIALS HANDLING
A. Provide all materials required to complete the work as shown on Drawings and specified herein. Deliver, store, and transport materials to avoid damage to the product or to any other work. Reject and return any products or materials delivered in a damaged or unsatisfactory condition. Materials and products delivered will be certified by the manufacturer to be as specified.
B. Store materials indoors, protected from dirt, moisture, contaminants, and weather.

1.5 PRECONSTRUCTION AND PREPARATION
A. Examine and verify that job conditions are satisfactory for speedy and acceptable work. Maintain and use up-to-date trade standards and manufacturer's instructions.
B. Verify utilities, site conditions and points of connection. Camera test the sanitary sewer lateral if existing to confirm it is in good working order. Repair or replace as required.
C. Confirm there are no conflicts between this work and work of other trades. All work shall be in accordance to local and State Codes. Confirm that work of other trades that must precede this work has been completed. Meet all requirements to secure warranty.
D. Notify Architect when work is scheduled to be installed. Use agreed schedule for installation and for field observation by Architect.

PART 2 — MATERIALS

2.1 GRAVITY SANITARY SEWER, WASTE & VENT PIPING
A. Building drain and vent piping materials shall comply with CPC 701 and 903, and shall be listed by an approved listing agency.
B. Sanitary sewer, waste & vent piping, except vertical risers, shall be: made in the USA ABS per ASTM D2661 & ASTM D2680 (for building sewer applications), solid wall pipe and fittings. All pipe and fittings to be produced by a single manufacturer and to be installed in accordance with manufacturer's recommendations and applicable code requirements. Buried pipe shall be installed in accordance with ASTM D2321 and ASTM F1668. Solvent cement shall conform to ASTM D2235. The system is intended for conventional non-pressure drainage applications where the temperature will not exceed 140°F. Protect exposed ABS from exposure to sunlight with water based synthetic latex paint.
C. Sanitary sewer vertical risers, and where any waste is at or exceeds 140°F, and when ABS is not allowed by the local Administrative Authority, the gravity sanitary sewer, waste and vent piping shall be: made in the USA Cast Iron Pipe, fittings and joints per ASTM A74, ASTM A888, and CISPI 301. Fittings shall be hubless cast iron, service weight per CISPI 310, neoprene gaskets and stainless steel clamp-and-shield assemblies.
D. Sanitary Sewer piping below grade within 5 feet of the building, and when ABS is not allowed, shall be: made in the USA cast iron pipe: CISPI 301, hubless with MG couplings where soils are reactive, and with stainless steel clamp and shield assemblies where soils are non-reactive.
E. Floor Cleanouts: polished nickel bronze non-skid adjustable top in carpeted areas by J.R. Smith or Zurn.
F. Dry Wall Cleanouts: Prime coated steel cover or wall type by J.R. Smith or Zurn.
G. Non Dry Wall Cleanouts: chrome plated cover and screws with wall thickness adequate to conceal.

2.2 INDIRECT WASTE and CONDENSATE DRAIN PIPING
A. Indirect waste shall be Type L copper DWV piping with, wrought copper fittings, and Grade 95TA soldered joints.
B. When serving condensing equipment where acidic waste is produced, indirect waste piping shall be cPVC with solvent joints.
C. Insulate piping where pipes may sweat.

2.3 WATER SUPPLY
A. Water supply piping above grade and within the building line shall be: Copper tubing, Type L, ASTM B-88, hard drawn, cast brass or wrought copper fittings, soldered joints.
B. Ball Valves: Up to 2" NIBCO model #T-585-66L full port, low lead, bronze with minimum 150 PSI rating, and 2.5" and greater NIBCO model #LD-3022. All valves shall be threaded with unions installed downstream of valve.

2.4 WATER HEATERS
A. Provide and install automatic water heaters as shown on the Drawings. Provide pressure and temperature relief valve piped to exterior, seismic bracing, and an expansion tank per CPC. Provide 24" reinforced flexible, braided stainless steel, or polymer braided with EPDM core connectors to the piping system in accordance with ASME A112.18.6/CSA B125.6

2.5 PIPING INSULATION
A. Provide and install piping insulation on entire hot water piping system, including run out with an operating temperature range of 105-140 F in accordance with CeNC Table 120.3-A.
B. Sizes: For pipe diameter of up to 1-1/2 inches, provide insulation with a minimum one inch wall thickness and R-value of 11. For pipe diameters from 1-1/2 inches to 4 inches, provide insulation with a minimum 1-1/2 inches wall thickness and R-value of 14.
C. Insulation shall have flame spread and smoke rating not exceeding 25/50 per ANSI/ASTM-E-84, NFPA 225 or UL 723. Provide PVC jacketing where exposed inside the building, and aluminum jacketing where exposed on the exterior of the building.
D. Manufacturers: AP Armaflex or Manville.

2.6 PLUMBING FIXTURES
A. Install plumbing fixtures which reduce the overall use of potable water within the building by a least 20 percent in compliance with California's Green Code, Title 24, Part 11, Chapter 4. Provide the required trim, and related construction.
B. Provide and install accessible fixtures in compliance with the American's with Disabilities Act.

2.7 LEAD FREE
A. Domestic water plumbing systems and components shall be lead free in compliance with California's Health and Safety Code and CPC.

2.8 VOLATILE ORGANIC COMPOUNDS [VOC]
A. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits per CGBS Section 4.504.

2.9 GAS SUPPLY
A. Natural gas piping below grade beyond the building line and not under hardscape shall be polyethylene Pipe ASTM D2513, SDR 11.5, with ASTM D2683 socket fittings, and fusion welded joints. Provide continuous tracer wire with ends secured to risers. Provide electrically continuous corrosion-resistant blue insulated copper tracer wire with ends secured to risers.
B. Provide proper grounding of the electrical system and equipotential bonding of all metallic systems in accordance with NFPA 70.
C. Natural gas piping below grade beyond the building and under hardscape shall be: OmegaFlex, Inc, TracPipe PS-II® ASTM A240 stainless steel tubing factory sleeved with polyethylene with vent channels, yellow brass fittings. All buried metallic ports shall be wrapped with Code approved metallic wrap. Provide manufacturer's striker plates as necessary. Route dedicated vent to roof. Installer shall have successfully trained through the TracPipe manufacturer's installation program. Install per manufacturer's installation instructions and recommendations.
D. Natural gas piping above grade and within the building line shall be made in the USA steel, Schedule 40 black, malleable iron or forged steel fittings, with screwed or welded joints for interior and galvanized for exterior applications.
E. Provide clearly marked, easily accessible, and tested shut off valves as required by the building code.
F. Provide a pressure relief valve which vents to outdoors when the gas supply pressure is greater than 2 PSI for piping systems designed to operate at 14 inches water column or less.
G. Provide listed gas-tight transition fittings to join below-grade polyethylene pipe to above-grade metallic pipe.
H. Gas piping on the roof shall be elevated and supported in accordance with CPC Table 1210.3.5.1.

PART 3 — CONSTRUCTION AND INSTALLATION

3.1 WORK CONDITIONS
A. Correct any conditions not in compliance with Section 1.5.A. noted above.
B. All work conditions shall be as per manufacturer's instructions, trade association standards, and governing building and safety codes.

3.2 PREPARATION
A. Vents and related support construction for plumbing and mechanical equipment must be as required by the building department.

3.3 INSTALLATION
A. Install products as per Drawings and these Specifications.
B. Provide all necessary sawcutting, excavation, shoring, backfilling and compaction required for the proper installation of the Work of this Section. Lay underground lines on firm bed through its entire length in compliance with CPC Section 718.2 and 718.3. Place 6" of clean cohesionless sand all around pipes. After underground piping has been tested and accepted, backfill with the excavated material or acceptable imported soil. Backfill material shall be free of clods or stone larger than 2" in dimension. Install backfill material in thin layers (less than ten inches uncompacted thickness), brought to near the optimum moisture content and compacted to a minimum of 90% of the maximum density obtainable by ASTM Test Method D1557, unless higher density is specified by the Architect. If it becomes necessary to import materials from offsite to complete site grading, imported soils should consist of essentially granular, silty sands with low expansion potential and free of grasses, weeds, debris, rocks larger than 3 inches in maximum dimension, and soluble sulfates in excess of 200 parts per million. Sawcut existing surface to facilitate new piping. Locate existing underground Work prior to marking cut lines. Do not allow cut path to disturb existing Work without prior review from the Architect. Segregate and dispose of demolished concrete or asphalt concrete. Evaluate excavated soil for re-use in same location. Dispose of soil if it is not in compliance with the Contract Documents or not acceptable to Soils Engineer. Carefully excavate trench to prevent damage to existing Work. Restore existing Work found damaged to its intended condition. Comply with requirements for excavation, backfill and compaction specified by the Architect.
C. Protect any pipes crossing zones of influence with Schedule 40 black steel sleeves. Zone of influence is defined as the area that projects out at 45 degrees from the outer lower perimeter of footings and grade beams. Do not run piping parallel to footings or grade beams in zones of influence.
D. Provide non-conducting dielectric connections whenever jointing dissimilar metals.
E. Install piping to allow for expansion and contraction without stressing pipe, joints, or connections to fixtures or equipment.
F. Every every precaution shall be taken to install plumbing systems in such a manner as to prevent sound transmission. appropriate isolation, insulation, lintels, frames, blocking, escutcheons, grouting, gaskets, packing, caulking, tapping, filling, etc., all shall be employed to prevent sound transmission. Contractor shall install "Acousto-plumb" at all pipe penetrations to ensure no piping or valves come in direct contact with the structure.
G. Provide striker plates to protect plumbing piping in vulnerable locations.
H. Each vent shall rise vertically to a point not less than 6 inches above the flood-level rim of the fixture served before offsetting horizontally or before being connected to any other vent. Collect vents to minimize roof penetrations and maintain the integrity of the roof assembly. Vent terminations through roof shall be per 2022 CPC 906.0.
I. All floor sinks shall be at least half exposed or in line with the front face of elevated freestanding equipment, and within 15 feet of the condensate producing equipment. Drain lines shall be at least 6 inches off the floor and 1/2 inch away from walls. Each floor sink shall be installed flush with the finished floor.
J. Provide for maintenance of this work for one year following final approval by governing agencies. Maintenance includes all work required in manufacturer's instructions such as inspection, adjustment, repair and replacement of parts as required.
K. Identify all piping with the words "DOMESTIC WATER", "SEWER", "STORM DRAIN", "NATURAL GAS" etc, every six feet.
L. No plumbing piping shall be directly embedded or come in direct contact with the structure. Provide sleeve over all pipes passing through concrete or masonry walls and concrete floors.
M. Install ball valves to shut off and isolate equipment.
N. Provide flexible pipe connectors and plug valves at all natural gas appliances and equipment.
O. Maintain minimum one quarter of an inch per foot slope on all drainage piping.
P. Install cleanouts, vacuum breakers, and backflow preventors in accordance to local and State codes.
Q. Provide hangers and supports per CPC Table 313.3, capable of supporting the tributary weight of pipe and contents, maintain its alignment, and prevent sagging. Provide saddles for insulated pipes. Gas piping shall be supported by metal straps at intervals not to exceed those shown in Table 1210.3.5.1 of CPC. All piping and equipment shall be suitably restrained and anchored in both horizontal and vertical directions to withstand seismic forces as required by the State of California and in compliance with SMACNA standards (Sheet Metal and Air Conditioning Contractors' National Association, Inc.)
R. Avoid running plumbing piping above electrical equipment.
S. Use fire stop by Hilti or 3M at pipe penetrations of fire rated assemblies. Fire stop materials shall be listed and compatible with the piping materials. See architect for the location and rating of fire assemblies.
T. Provide the next available pipe size up, if the size indicated on the Drawings is not available.
U. Test all new piping systems as specified. Install shut-off valves to isolate existing systems that do not require testing. Existing systems that have been connected to by new systems shall be tested to the extent of the closest new connection. Tests must be performed and systems approved prior to painting, covering, or concealing piping. Provide all test equipment, instrumentation and labor in conjunction with tests. Prior to test, protect or remove all devices, and other items which are not designed to stand pressures used in test. Accomplish testing of piping in sections so as not to leave any portion of pipe or joints untested. Obtain prior approval for test procedures. Responsibility for Damages: Bear costs of repair and restoration of Work of other trades damaged by tests or cutting done in connection with tests. Domestic Water systems: Test all portions of new water systems at hydrostatic pressure of not less than 150 psig, but not less than 50 psig permissible drop at end of four hours. Drainage Systems: Fill entire waste and vent system with water to level of highest vent stack. System shall hold water for two hours. Fuel Gas Systems: Test with air at a pressure of not less than 10 psig for a minimum of 15 minutes with no perceptible drop in pressure. For welded pipe or gas pressures greater than 14 inches water column, the test pressure shall not be less than 60 psig (or as approved by governing authority) and shall be continued for a minimum of 30 minutes. Rainwater Systems: Test in the same manner as described for the Drainage Systems above.
V. Disinfection of domestic water piping system. Verify system is complete, flushed and clean. Ensure Ph of water to be treated is between 7.4 and 7.6. Inject disinfectant, free chlorine in liquid, powder or gas form throughout system to obtain 50 to 80 mg/L residual. Bleed water from outlets to ensure distribution. Maintain disinfectant in system until residual is equal to incoming water of 1.0 mg/L. Analyze 24 hours after flushing in accordance with AWWA C651. Provide copies of Certificates of Performance.
W. Upon completion, secure all required pressure tests, inspections, and approvals of the completed system. Make all required adjustments and corrections at no added cost to the Owner.
X. Openings in the building envelope separating conditioned space from unconditioned space needed to accommodate piping and other necessary penetrations must be sealed in compliance with the California Energy Code. Exception: The annular spaces around pipes and other openings at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, or concrete masonry.
Y. Wall hung fixtures shall be installed with carriers concealed in walls that are anchored to the floor in compliance with ASME A112.6.

3.4 PROTECTION FROM MARINE/COASTAL ENVIRONMENT
A. Contractor shall be responsible for protecting all plumbing systems from premature corrosion due to the coastal environment. This includes the use of non ferrous piping, supports, equipment and other materials and components. Epoxy paint, or wrap any exterior or exposed ferrous metallic plumbing systems. No sheet metal flashing is allowed. Contractor shall be responsible for any damage resulting from his failure to protect plumbing systems from premature corrosion.

3.5 REPAIR AND CLEANUP
A. After installation, inspect all work for improper installation or damage.
B. Operating fixtures must perform smoothly. Repair or replace any defective work. Repair work will be undetectable. Redo repairs if work is still defective, as directed by the Architect or governing safety regulatory agency.
C. Clean the work area and remove all scrap and excess materials from the site and dispose of in accordance with State and local requirements.

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LICENSED ENGINEER ANGELINA VOSBURG M-25658 EXP. 9/30/2026 STATE OF CALIFORNIA

DESIGN DEVELOPMENT — NOT FOR CONSTRUCTION

OJAI PERMANENT SUPPORTIVE HOUSING
Public Works Yard, Montgomery St
Ojai, CA 93023

REVISIONS		
#	DATE	DESCRIPTION

JOB NUMBER: DJA-2501
DATE: 07/24/2025

SPECIFICATIONS & DETAILS

P1.2

KEYNOTES

1. SEE CIVIL SITE UTILITY PLAN FOR CONTINUATION.
2. 2% MINIMUM SLOPE ON ALL DRAINAGE PIPING.
3. ROUTE PIPING TO AVOID CONFLICTS WITH THE STRUCTURE, COORDINATE PIPING LOCATIONS RELATIVE TO BUILDING FOOTINGS WITH SEOR.
4. PROTECT THE INTEGRITY OF FIRE RATED ASSEMBLIES WITH UL LISTED FIRE STOP COMPATIBLE WITH THE PIPING MATERIALS AND CONSTRUCTION.
5. PROVIDE HEAT TAPE ON DOMESTIC HOT WATER DISTRIBUTION PIPING...

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Santa Barbara, CA 93101
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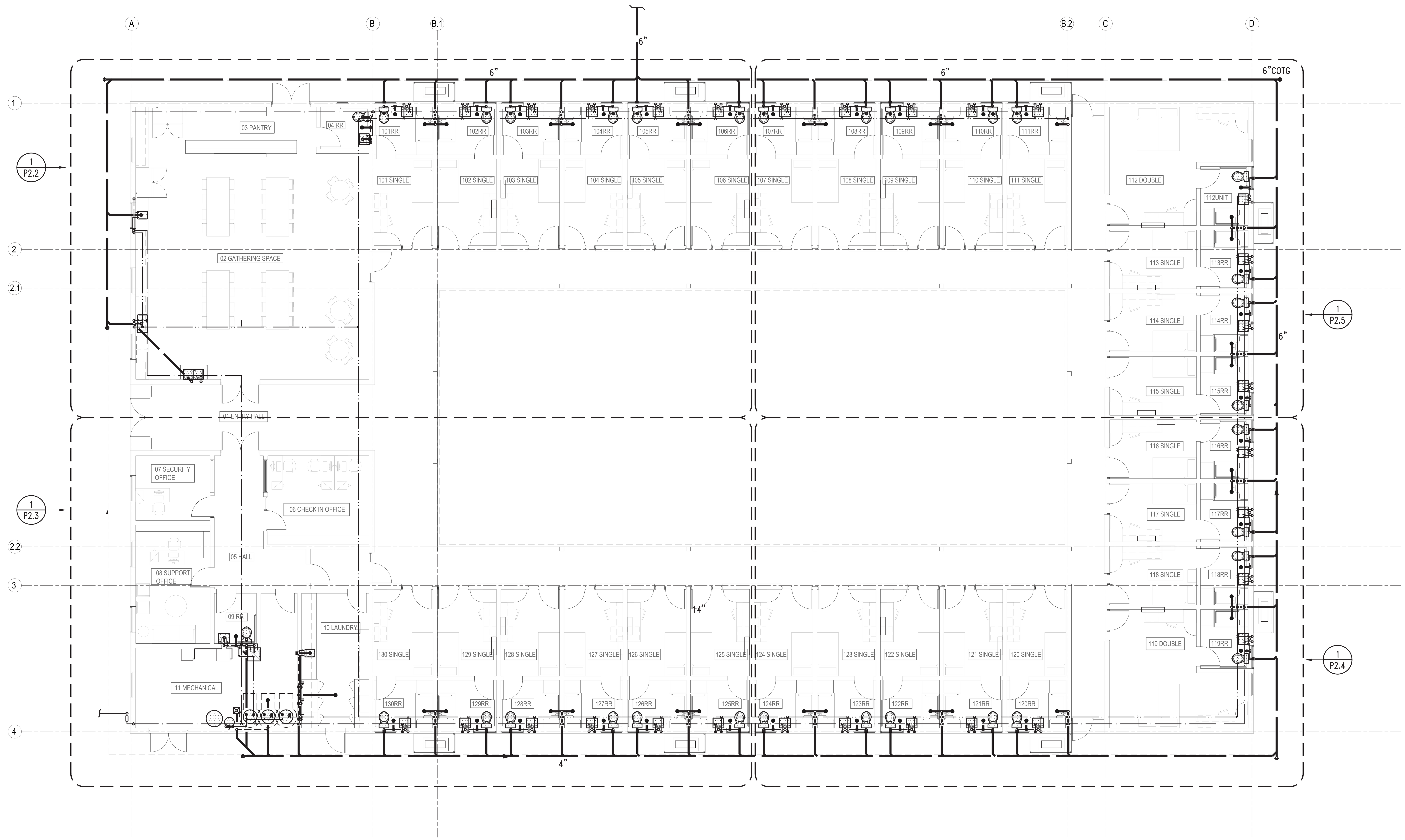


OVERALL PLUMBING FLOOR PLAN

¼" = 1'-0"

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

OJAI PERMANENT SUPPORTIVE HOUSING

Public Works Yard, Montgomery St
Ojai, CA 93023

REVISIONS		
#	DATE	DESCRIPTION

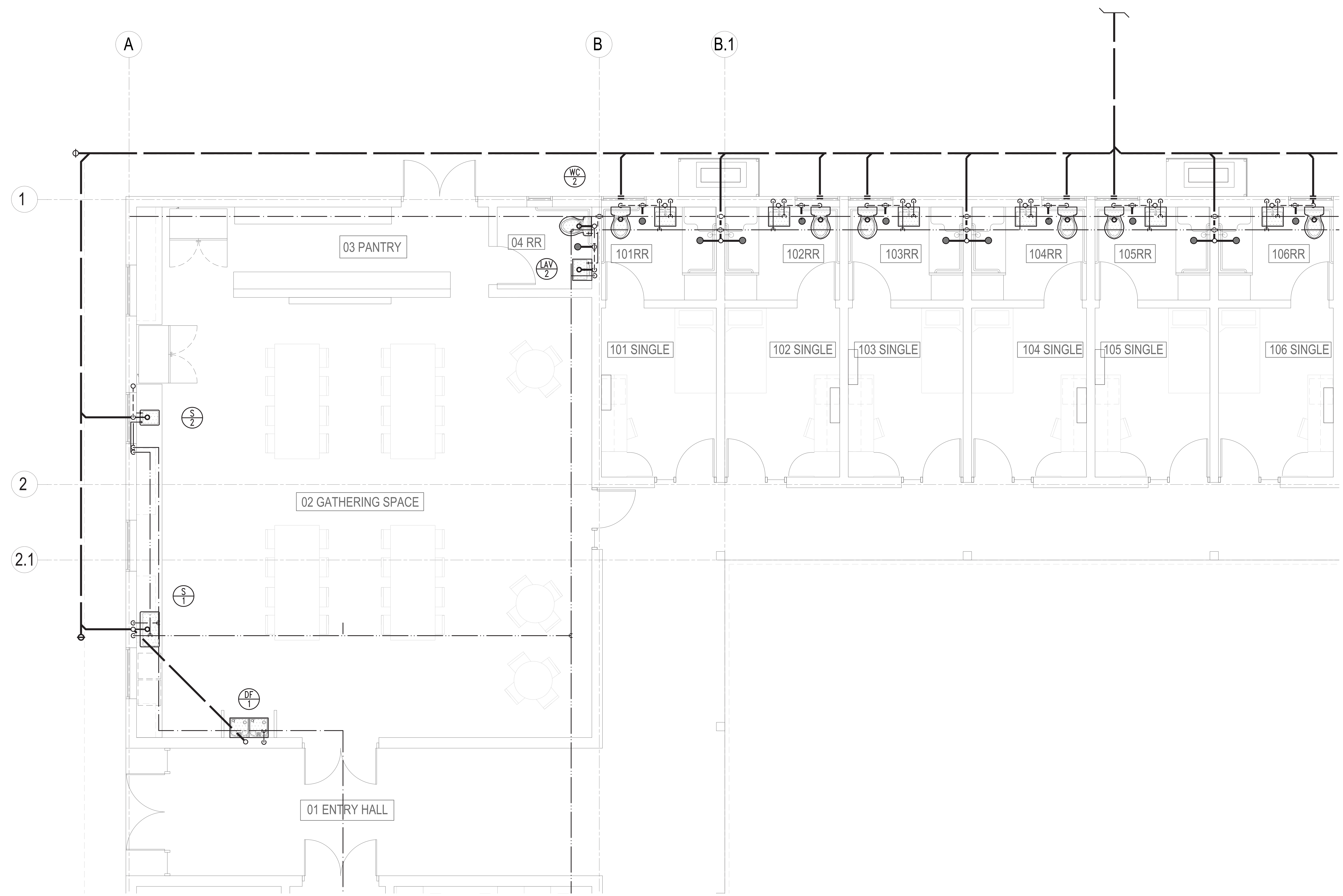
JOB NUMBER: DJA-2501
DATE: 07/24/2025

OVERALL PLUMBING FLOOR PLAN

P2.1

KEYNOTES

1. 2% MINIMUM SLOPE ON ALL DRAINAGE PIPING.
2. ROUTE 1/2" HW TO DW. ROUTE IW FROM DW TO APPROVED AIR GAP FITTING AT SINK.
3. WHA WITH ACCESS.
4. ROUTE 1/2"CW TO REFRIGERATOR WITH ISOLATION VALVE, WATTS MODEL SD-2 (OR EQUAL) LEAD FREE STAINLESS STEEL BACKFLOW PREVENTER WITH ISOLATION VALVES, IN ACCESSIBLE LOCATION.
5. ROUTE PIPING TO AVOID CONFLICTS WITH THE STRUCTURE. STRUCTURAL MODIFICATIONS SHALL REQUIRE THE APPROVAL OF ARCHITECT AND SEOR.
6. PROTECT THE INTEGRITY OF FIRE RATED ASSEMBLIES WITH UL LISTED FIRE STOP COMPATIBLE WITH THE PIPING MATERIALS AND CONSTRUCTION.



1 ENLARGED PLUMBING FLOOR PLAN
1/4" = 1'-0"
N

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ME IC INC.
MECHANICAL ENGINEERING CONSULTANTS INC.
315 E Canon Perdido, Ste B
Santa Barbara, CA 93101
Tel (805) 957-4632

LICENSED ENGINEER ANGELIKA VON BOCK M-25658 EXP. 9/30/2026 STATE OF CALIFORNIA

OJAI PERMANENT SUPPORTIVE HOUSING

Public Works Yard, Montgomery St
Ojai, CA 93023

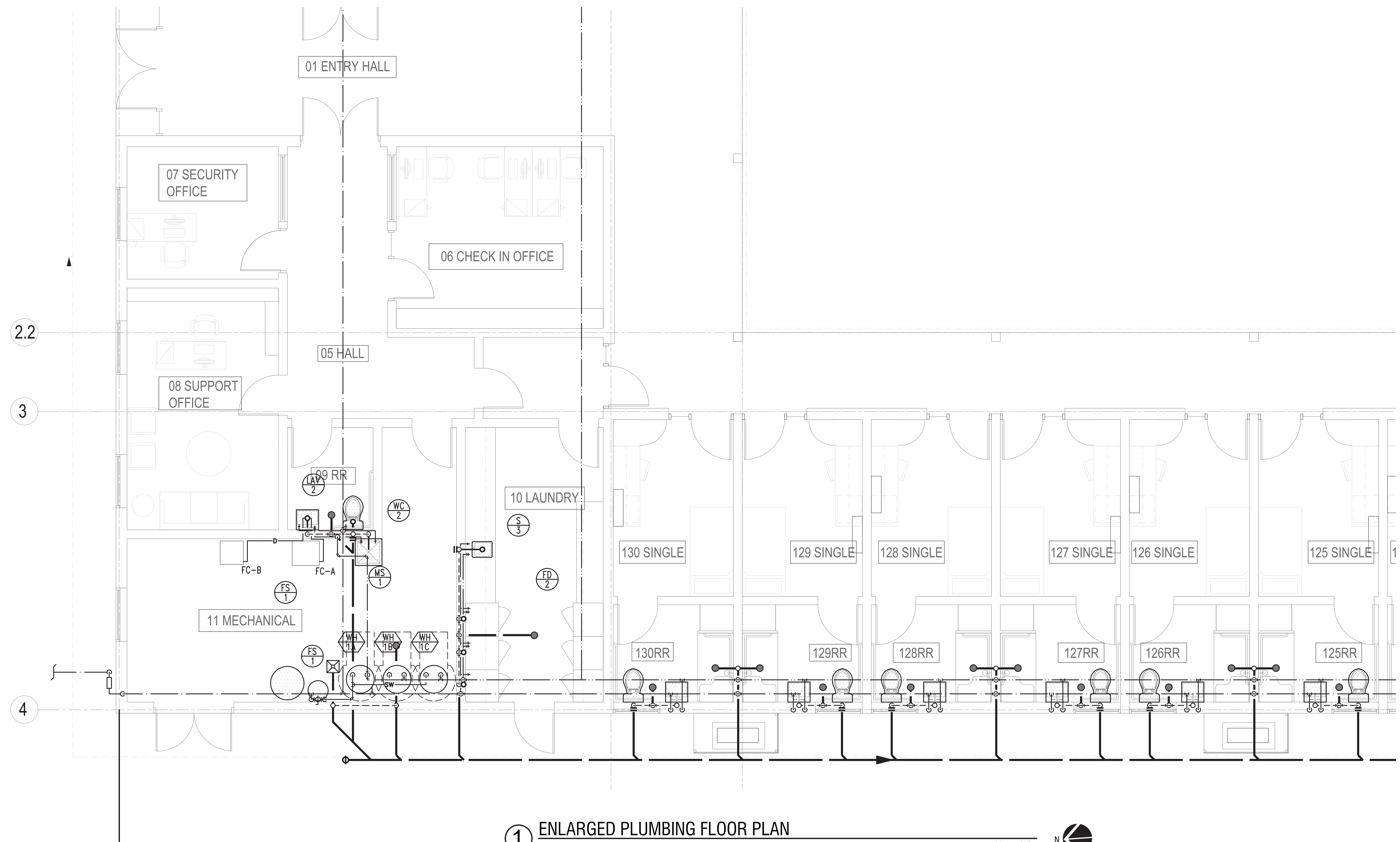
REVISIONS

#	DATE	DESCRIPTION

JOB NUMBER: DJA-2501
DATE: 07/24/2025

ENLARGED PLUMBING FLOOR PLAN

P2.2



1 ENLARGED PLUMBING FLOOR PLAN

1/4" = 1'-0"

KEYNOTES

1. TO MIN 1½" WATER METER (64 GPM). PROVIDE APPROVED, TESTABLE REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, FEBCO LF825Y SERIES (LINE SIZE), OR EQUAL. ASSEMBLY SHALL BE LOCATED WITHIN THE PROPERTY BOUNDARY, AS CLOSE TO THE WATER METER AS POSSIBLE, UPSTREAM OF ALL CONNECTIONS ON THE PROPERTY, COORDINATE LOCATION WITH CEOR.
2. PRV ASSEMBLY.
3. SEE CIVIL SITE UTILITY PLAN FOR CONTINUATION.
4. 2% MINIMUM SLOPE ON ALL DRAINAGE PIPING.
5. ROUTE P&T TO +6" ABOVE FINISHED GRADE WITH 90 DEGREE ELBOW FACING DOWN.
6. PROVIDE RECESSED BOX FOR 3/4" HW & 3/4" CW SUPPLIES AND IW FROM WASHER.
7. WATER SOFTENER, BY OTHERS. PROVIDE LINE SIZE BYPASS SOV. WATER TREATMENT EQUIPMENT SHALL BE SIZED TO ACCOMMODATE 64 GPM PEAK FLOW WITH NO MORE THAN 15 PSI PRESSURE LOSS.
8. OFFSET VENT AS REQUIRED TO MAINTAIN 10 FT MINIMUM SEPARATION FROM OUTSIDE AIR INTAKES.
9. WHA WITH ACCESS.
10. CONNECT TRAP PRIMER TO THE TOP OF THE CW SUPPLY OF A FREQUENTLY USED FIXTURE, AT LEAST 6" ABOVE THE FINISHED FLOOR, AND WITH ACCESS. ROUTE THE GRAVITY OUTLET TO THE TAILPIECE OF THE FD, PER MFR'S INSTRUCTIONS.
11. ROUTE INDIRECT WASTE FROM EQUIPMENT IN MECHANICAL ROOM TO FLOOR SINK.
12. PROVIDE INLINE INTERCEPTOR ON THE WASHING MACHINE DRAIN WITH REMOVABLE WIRE BASKET STRAINER TO PREVENT THE PASSAGE OF SOLIDS 1/2" OR LARGER FROM DISCHARGING TO THE PUBLIC SEWER SYSTEM.
13. ROUTE PIPING TO AVOID CONFLICTS WITH THE STRUCTURE. STRUCTURAL MODIFICATIONS SHALL REQUIRE THE APPROVAL OF ARCHITECT AND SEOR.
14. PROTECT THE INTEGRITY OF FIRE RATED ASSEMBLIES WITH UL LISTED FIRE STOP COMPATIBLE WITH THE PIPING MATERIALS AND CONSTRUCTION.
15. PROVIDE SEISMIC STRAPPING FOR WATER HEATER TANK PER CPC 507.2. QUICK STRAP #QS-120 BY HOLDRITE OR EQUAL.

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Tel (805) 957-4632

LICENSED ENGINEER M-25658 EXP. 9/30/2026 STATE OF CALIFORNIA

OJAI PERMANENT SUPPORTIVE HOUSING

Public Works Yard, Montgomery St
Ojai, CA 93023

REVISIONS		
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ENLARGED PLUMBING FLOOR PLAN

P2.3

E:\DJA-DylanJohnsonArchitect\DJA2501-Ojai Dignity Moves Housing Project\DJA2501-DWGS\DJA2501-P2-3.dwg, 7/24/2025 8:47:18 AM, DWG To PDF.pc3

KEYNOTES

1. 2% MINIMUM SLOPE ON ALL DRAINAGE PIPING.
2. ROUTE 3/4" PRIMARY CONDENSATE DRAIN TO SINK TAILPIECE.
3. OFFSET VENT AS REQUIRED TO MAINTAIN 10 FT MINIMUM SEPARATION FROM OUTSIDE AIR INTAKES.
4. WHA WITH ACCESS.
5. ROUTE PIPING TO AVOID CONFLICTS WITH THE STRUCTURE. STRUCTURAL MODIFICATIONS SHALL REQUIRE THE APPROVAL OF ARCHITECT AND SEOR.
6. PROTECT THE INTEGRITY OF FIRE RATED ASSEMBLIES WITH UL LISTED FIRE STOP COMPATIBLE WITH THE PIPING MATERIALS AND CONSTRUCTION.

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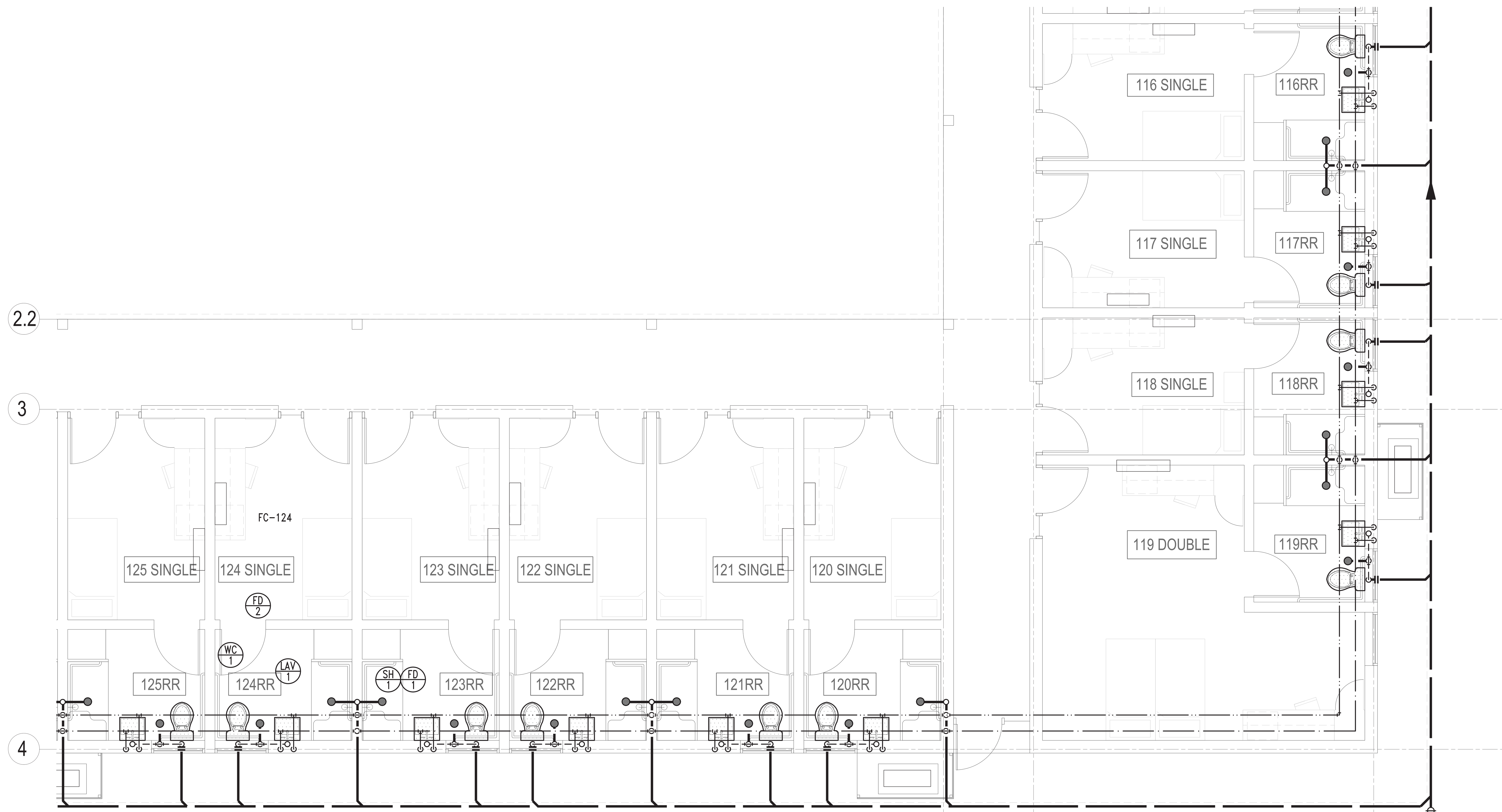
M-25658



1 ENLARGED PLUMBING FLOOR PLAN
1/4" = 1'-0"

N

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

OJAI PERMANENT SUPPORTIVE HOUSING

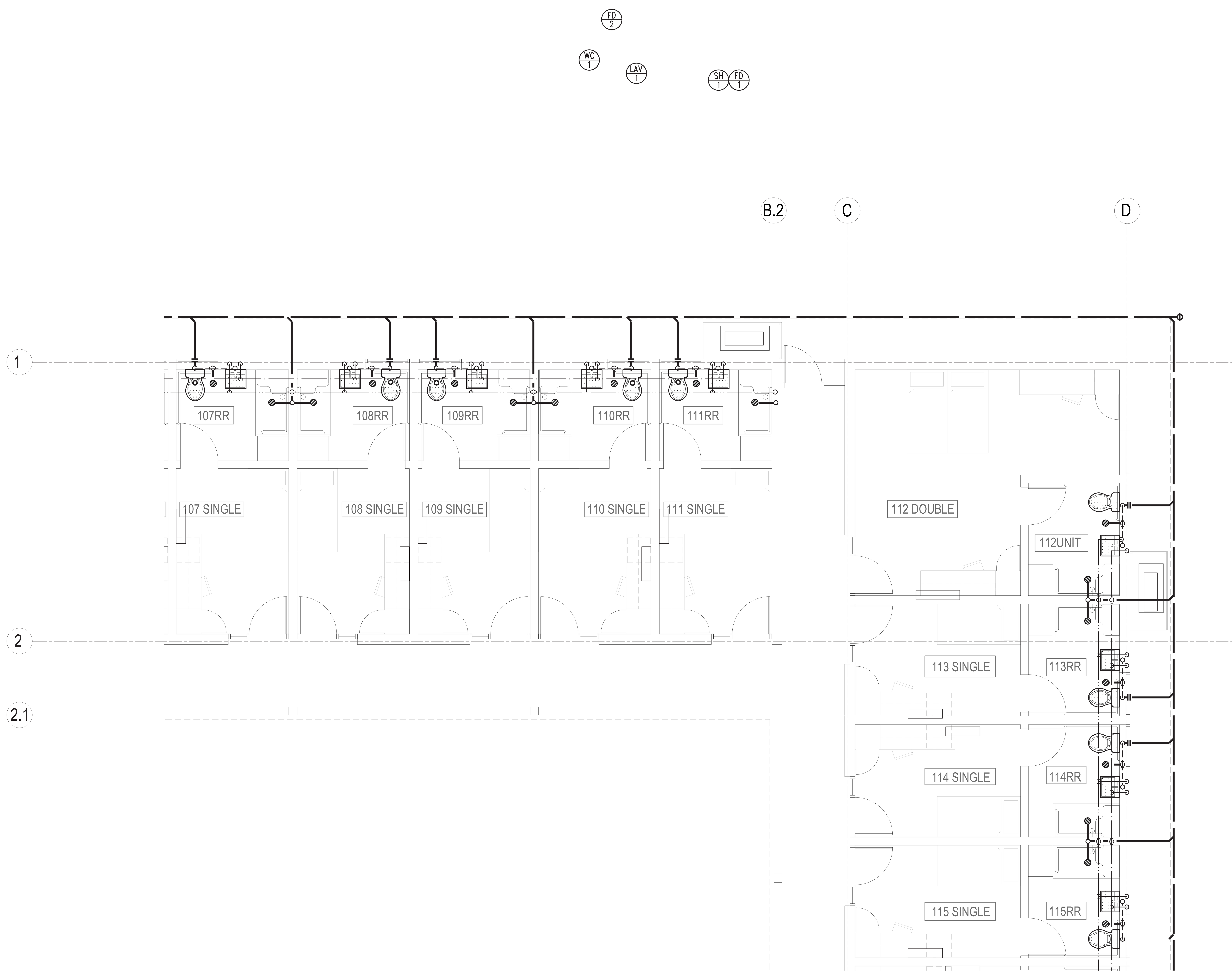
Public Works Yard, Montgomery St
Ojai, CA 93023

REVISIONS		
#	DATE	DESCRIPTION

JOB NUMBER: DJA-2501
DATE: 07/24/2025

ENLARGED PLUMBING FLOOR PLANS

P2.4



1 ENLARGED PLUMBING FLOOR PLAN

1/4" = 1'-0"

N

KEYNOTES

1. 2% MINIMUM SLOPE ON ALL DRAINAGE PIPING.
2. ROUTE 3/4" PRIMARY CONDENSATE DRAIN TO SINK TAILPIECE.
3. OFFSET VENT AS REQUIRED TO MAINTAIN 10 FT MINIMUM SEPARATION FROM OUTSIDE AIR INTAKES.
4. WHA WITH ACCESS.
5. ROUTE PIPING TO AVOID CONFLICTS WITH THE STRUCTURE. STRUCTURAL MODIFICATIONS SHALL REQUIRE THE APPROVAL OF ARCHITECT AND SEOR.
6. PROTECT THE INTEGRITY OF FIRE RATED ASSEMBLIES WITH UL LISTED FIRE STOP COMPATIBLE WITH THE PIPING MATERIALS AND CONSTRUCTION.

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LICENSED ENGINEER
ANGELIKA VON BOOS
M-25658
EXP. 9/30/2026
STATE OF CALIFORNIA

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

OJAI PERMANENT SUPPORTIVE HOUSING

Public Works Yard, Montgomery St
Ojai, CA 93023

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ENLARGED PLUMBING FLOOR PLANS

P2.5

LED FIXTURE SCHEDULE

TYPE	MANUFACTURER AND CATALOG NUMBER	LED MODULE TYPE	LED MODULE COLOR TEMP	LED MODULE WATTS	DRIVER	OPTIC/LENS	REMARKS
A 20	JUNO JSF 13IN 18LM 27K 90CRI 120FRPC WH		2700K	20	FRPC	DIFFUSE	13 IN ROUND SLIM S/M
B 10	JUNO JSF 5IN 07LM 27K 90CRI 120FRPC WH		2700K	10	FRPC	DIFFUSE	5 IN ROUND SLIM S/M
C 24	TECH 700BC BAS 24S 927LED		2700K	24	ELV	DIFFUSE	VANITY LIGHT
D 50	LITHONIA TRUM 48ALO6FMP8 SWW2 ZT MVOLT		3000K	50	0-10V	DIFFUSE	4 FT WRAP
E 3	ISOLITE LRPGU WH MTEB		GREEN	3	NICAD BATTERY	PRISMATIC	EXIT SIGN W/ LED LIGHT PIPE
EM 6	ISOLITE BUG 6WH		4000K	6	NICAD BATTERY	PRISMATIC	EM LIGHT
X 23	LITHONIA WDGE2 P3 30K VW MVOLT DDBXD		3000K	23	0-10V	FLAT, CLEAR	FULL CUTOFF WEDGE SCONCE

REFER TO A6.1 AND A6.2 REFLECTED CEILING PLANS FOR LIGHTING AND FAN LAYOUTS. PROVIDE PRICING BASED ON ARCHITECTURAL PLANS.

(N) PANEL SCHEDULE "A"

SERVICE: 120/208V 3Φ 4W | MAIN BKR.: MLO | BUS: 200A | LOC.: SEE PLAN | MTG.: FLUSH

REMARKS	LOAD ΦA	LOAD ΦB	LOAD ΦC	REC	LTG	MISC	POLE	TRIP	CIRC	CIRC	TRIP	POLE	REC	LTG	MISC	LOAD ΦA	LOAD ΦB	LOAD ΦC	REMARKS
CABIN 1							1	20	1	2	20	1							CABIN 11
"							1	20	3	4	20	1							"
CABIN 2							1	20	5	6	20	1							CABIN 12
"							1	20	7	8	20	1							"
CABIN 3							1	20	9	10	20	1							CABIN 13
"							1	20	11	12	20	1							"
CABIN 4							1	20	13	14	20	1							CABIN 14
"							1	20	15	16	20	1							
CABIN 5							1	20	17	18	20	1							CABIN 15
"							1	20	19	20	20	1							"
CABIN 6							1	20	21	22	20	1							CABIN 16
"							1	20	23	24	20	1							"
CABIN 7							1	20	25	26	20	1							CABIN 17
"							1	20	27	28	20	1							"
CABIN 8							1	20	29	30	20	1							CORNER CABIN B
"							1	20	31	32	20	1							"
CABIN 9							1	20	33	34	20	1							CABIN 18
"							1	20	35	36	20	1							"
CABIN 10							1	20	37	38	20	1							CABIN 19
"							1	20	39	40	20	1							"
SPARE							1	20	41	42	20	1							SPARE

TOTAL WATTS= ΦA= ΦB= ΦC=
AMPS= MINIMUM BKR A.I.C. RATING= 10,000 AMPS SYM

(N) PANEL SCHEDULE "B"

SERVICE: 120/208V 3Φ 4W | MAIN BKR.: MLO | BUS: 200A | LOC.: SEE PLAN | MTG.: FLUSH
ALL CIRCUIT BREAKERS SHALL BE AFCI.

REMARKS	LOAD ΦA	LOAD ΦB	LOAD ΦC	REC	LTG	MISC	POLE	TRIP	CIRC	CIRC	TRIP	POLE	REC	LTG	MISC	LOAD ΦA	LOAD ΦB	LOAD ΦC	REMARKS
CABIN 20	300						1	20	1	2	20	1							SPARE
"		300					1	20	3	4	20	1							"
CABIN 21			300				1	20	5	6	20	1							"
"	300						1	20	7	8	20	1							"
CABIN 22		300					1	20	9	10	20	1							"
"			300				1	20	11	12	20	1							"
CABIN 23	300						1	20	13	14	20	1							"
"		300					1	20	15	16	20	1							"
CABIN 24			300				1	20	17	18	20	1							"
"	300						1	20	19	20	20	1							"
CABIN 25		300					1	20	21	22	20	1							"
"			300				1	20	23	24	20	1							"
CABIN 26	300						1	20	25	26	20	1	2			720			EXT REC
"		300					1	20	27	28	30	2			1		2880		HP - 1
CABIN 27			300				1	20	29	30	X	X						2880	"
"	300						1	20	31	32	30	2			1	2880			HP - 2
CABIN 28		300					1	20	33	34	X	X					2880		"
"			300				1	20	35	36	30	2			1			2880	HP - 3
CORNER CABANA A	600						1	20	37	38	X	X				2880			"
"		300					1	20	39	40	30	2			1		2880		HP - 4
SPARE							1	20	41	42	X	X						2880	"

TOTAL WATTS= 30,060 ΦA= 8,880 ΦB= 10,740 ΦC= 10,440
AMPS= 84A MINIMUM BKR A.I.C. RATING= 10,000 AMPS SYM

(N) PANEL SCHEDULE "C"

SERVICE: 120/208V 3Φ 4W | MAIN BKR.: MLO | BUS: 200A | LOC.: SEE PLAN | MTG.: FLUSH

REMARKS	LOAD ΦA	LOAD ΦB	LOAD ΦC	REC	LTG	MISC	POLE	TRIP	CIRC	CIRC	TRIP	POLE	REC	LTG	MISC	LOAD ΦA	LOAD ΦB	LOAD ΦC	REMARKS
OFFICE 1	900			5			1	20	1	2	20	1	1			180			RESTROOM REC
RESTROOOM		180		1			1	20	3	4	20	1	2				360		BREAK ROOM
HALLWAY			360	2			1	20	5	6	20	1							SPARE
OFFICE 2	540			3			1	20	7	8	20	1							"
MGR OFFICE		720		4			1	20	9	10	20	1							"
"			540	3			1	20	11	12	20	1							"
SPARE							1	20	13	14	20	1							"
STORAGE		360		2			1	20	15	16	20	1							"
BREAK ROOM			900	5			1	20	17	18	20	1							"
REFRIG	800			1			1	20	19	20	20	1							"
"		800		1			1	20	21	22	20	1		18			400		EXT LIGHTING
"			800	1			1	20	23	24	20	1		8				160	EXT LIGHTING
"	800			1			1	20	25	26	20	1	3			540			EXT REC
"		800		1			1	20	27	28	30	2			1		2880		HP - 5
"			800	1			1	20	29	30	X	X						2880	"
COUNTER REC	360			2			1	20	31	32	30	2			1	2880			HP - 6
"		540		3			1	20	33	34	X	X					2880		"
"			540	3			1	20	35	36	30	2			1			2880	HP - 7
"	540			3			1	20	37	38	X	X				2880			"
"		360		2			1	20	39	40	30	2			1		2880		HP - 8
"			720	4			1	20	41	42	X	X						2880	"

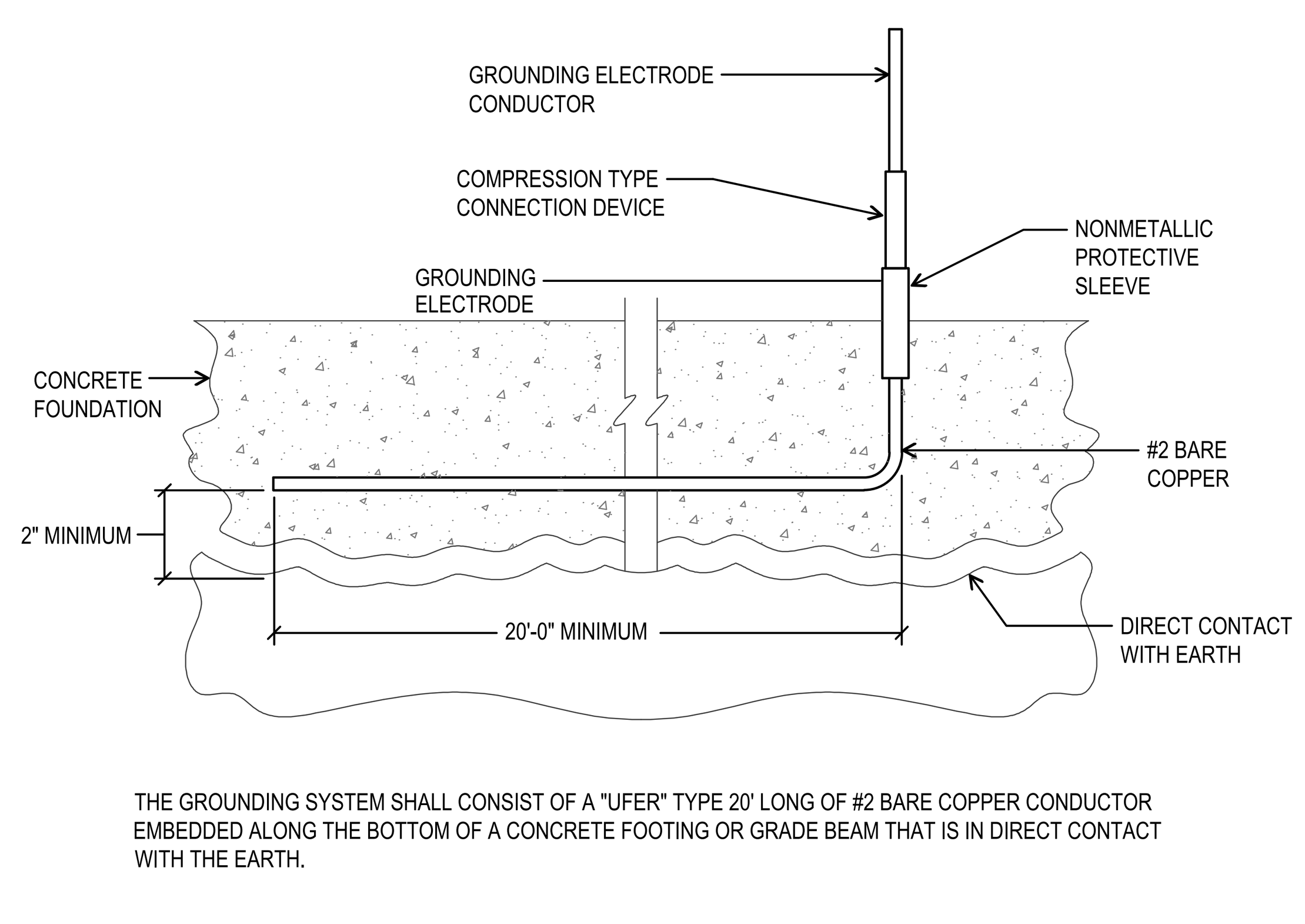
TOTAL WATTS= 37,040 ΦA= 10,420 ΦB= 13,160 ΦC= 13,460
AMPS= 103A MINIMUM BKR A.I.C. RATING= 10,000 AMPS SYM

(N) PANEL SCHEDULE "L"

SERVICE: 120/208V 3Φ 4W | MAIN BKR.: MLO | BUS: 200A | LOC.: SEE PLAN | MTG.: FLUSH

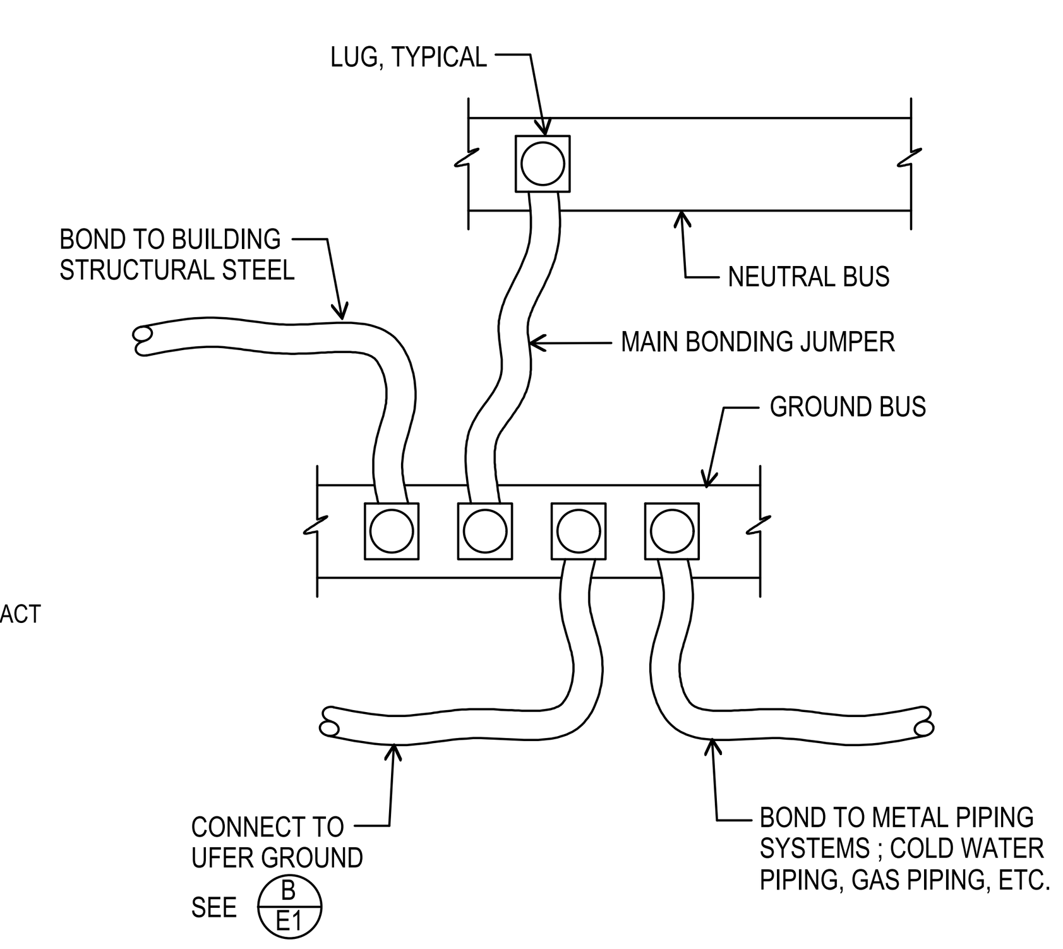
REMARKS	LOAD ΦA	LOAD ΦB	LOAD ΦC	REC	LTG	MISC	POLE	TRIP	CIRC	CIRC	TRIP	POLE	REC	LTG	MISC	LOAD ΦA	LOAD ΦB	LOAD ΦC	REMARKS
COUNTER REC	360			2			1	20	1	2	30	2	1			2500			W/D
"		540		3			1	20	3	4	X	X					2500		"
"			360	2			1	20	5	6	30	2	1					2500	W/D
W/D	2500			1			2	30	7	8	X	X				2500			"
"		2500					X	X	9	10	30	2	1				2500		W/D
W/D			2500	1			2	30	11	12	X	X						2500	"
"	2500						X	X	13	14	20	1							SPARE
W/D		2500		1			2	30	15	16	20	1							"
"			2500				X	X	17	18	20	1							"
IT / PHONE DEMARC				2					19	20	20	1							"
SPACE									21	22	20	1							"
"									23	24	20	1							"
"									25	26	20	1							"
"									27	28	20	1							"
"									29	30	20	1							"

TOTAL WATTS= 31,260 ΦA= 10,360 ΦB= 10,540 ΦC= 10,360
AMPS= 87A MINIMUM BKR A.I.C. RATING= 10,000 AMPS SYM

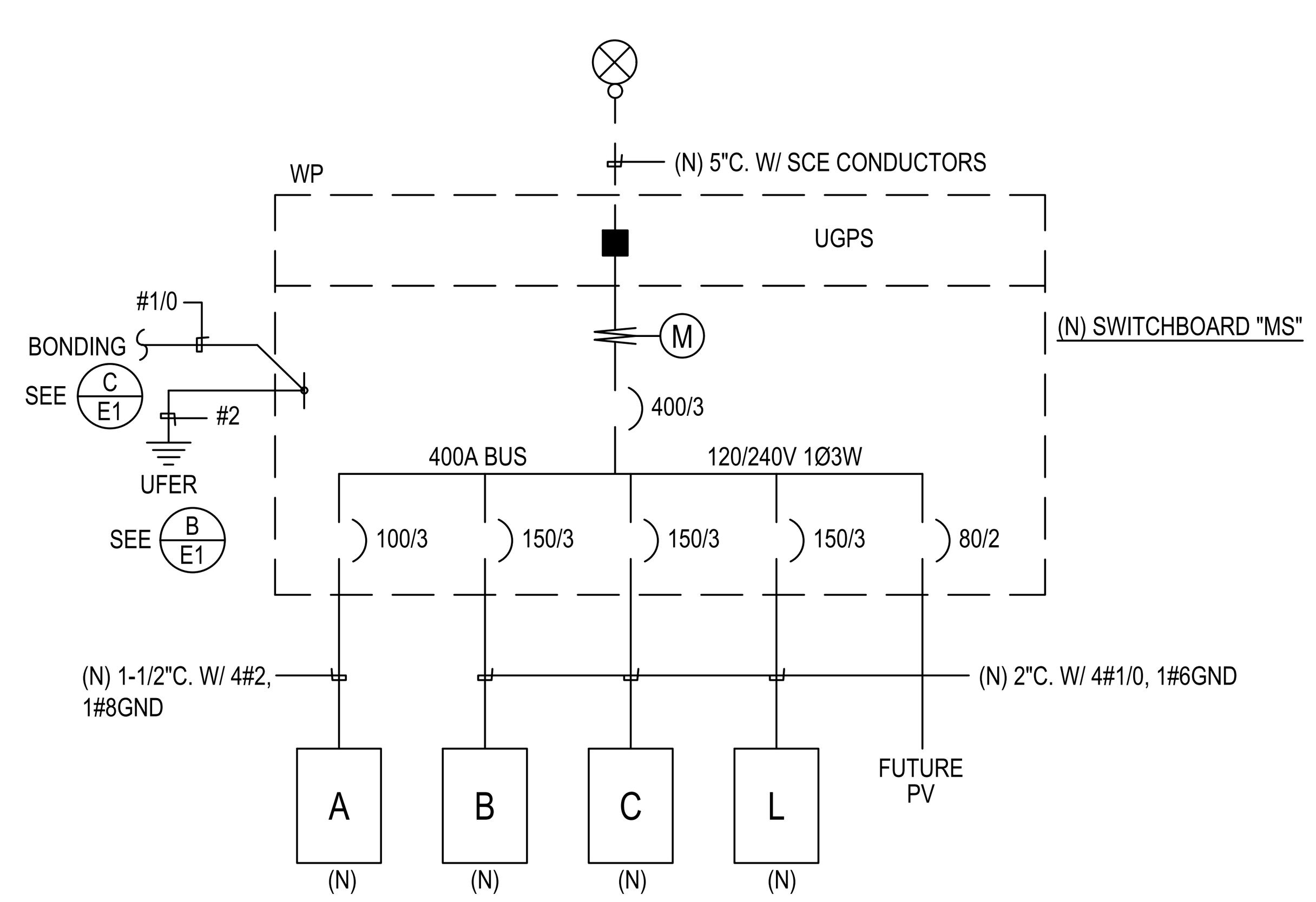


THE GROUNDING SYSTEM SHALL CONSIST OF A "UFER" TYPE 20' LONG OF #2 BARE COPPER CONDUCTOR EMBEDDED ALONG THE BOTTOM OF A CONCRETE FOOTING OR GRADE BEAM THAT IS IN DIRECT CONTACT WITH THE EARTH.

UFER GROUND DETAIL (B / E-1)
SCALE : NONE



BONDING DIAGRAM (C / E-1)
SCALE : NONE



SINGLE LINE DIAGRAM (A / E-1)
SCALE : NONE

ACCESSIBILITY NOTES

Installation of switches, outlets and controls to reflect the accessibility requirements of the 2022 CBC Chapters 11A and 11B for Accessibility.

1. CBC 11B-308.1.1 Electrical controls and switches intended to be used by the occupant of a room or area shall be located within the allowable reach ranges. Low reach shall be measured from the bottom of the outlet box and high reach is measured to the top of the outlet box.

2. CBC 11B-308.1.2 Electrical receptacle outlets on branch circuits of 30 amperes or less and communication system receptacles shall be located in the allowable reach range. Low reach shall be measured from the bottom of the outlet box and high reach is measured to the top of the outlet box.

3. CBC 11B-308.2.1 High forward reach that is unobstructed shall be 48 inches maximum and the low forward reach shall be 15 inches minimum above finish floor or ground.

4. CBC 11B-308.2 Forward Reach Obstructed - Electrical receptacle outlets shall be located no more than 44 inches measured from the top of the receptacle outlet box when the obstruction is over 20" and does not exceed 25". When the depth is less than 20" height can be increased to 48". (desk counters)

5. CBC 11B-308.3 Side Reach Obstructed - Electrical receptacle outlets shall be located no more than 46 inches measured from the top of the receptacle outlet box when the obstruction is over 10" and does not exceed 24". When the depth is less than 10" height can be increased to 48".

6. Overhang light fixtures or wall fixtures projecting more than 4" from the wall surface shall be a minimum of 80" above the walking surface.

GENERAL NOTES

1. VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
2. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
3. CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
4. ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
5. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
6. FURNISH DISCONNECT SWITCHES AT REMOTE MOTORS.
7. ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSSING FOR FUTURE BREAKER OR SWITCH.
8. CHECK ARCHITECTURAL PLANS FOR DOOR SWINGS BEFORE INSTALLING SWITCH OUTLETS.
9. GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
10. ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
11. THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
12. ALL FEEDER CONDUCTORS SHALL BE IN CONDUIT. BRANCH CIRCUITS MAY BE NON-METALLIC SHEATHED CABLE.
13. ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.
14. COORDINATE WITH SERVING ELECTRICAL UTILITY COMPANY AND MAKE PROVISIONS FOR ELECTRICAL SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND UTILITY COMPANY CHARGES IN BID.
15. COORDINATE WITH SERVING TELEPHONE UTILITY COMPANY AND MAKE PROVISIONS FOR TELEPHONE SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
16. COORDINATE WITH SERVING CABLE TELEVISION COMPANY AND MAKE PROVISIONS FOR CABLE TELEVISION SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
17. ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY CONTRACTOR.
18. ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT/BRANCH CIRCUIT INTERRUPTER, COMBINATION TYPE, A BRANCH/FEEDER TYPE, A LISTED SUPPLEMENTAL ARC PROTECTION CIRCUIT BREAKER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [CEC 210.12(A)(1)THROUGH(6)]
19. ALL NON-LOCKING TYPE 125-VOLT, 15 AND 20 AMPERE RECEPTACLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (EXCEPTIONS: (1)RECEPTACLE MORE THAN 5'-6" ABOVE THE FLOOR (2)RECEPTACLES PART OF A LUMINAIRE OR APPLIANCE, (3)A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES THAT ARE NOT EASILY MOVED AND LOCATED WITHIN DEDICATED SPACE AND ARE CORD-AND-PLUG CONNECTED AS PER CEC 400.10(A)(6), (A)(7) OR (A)(8), AND (4)NON-GROUNDING RECEPTACLES USED FOR REPLACEMENTS AS PERMITTED IN CEC 406.4(D)(2), [CEC 406.12].
20. SMOKE DETECTORS SHALL BE 120V, PHOTOELECTRIC/ION COMBINATION UNITS WITH BATTERY BACK UP. THEY SHALL BE INTERCONNECTED.
21. HALLWAY DETECTOR SHALL BE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. THEY SHALL BE INTERCONNECTED WITH SMOKE DETECTOR.
22. LIGHT FIXTURES IN BATHTUB OR SHOWER AREAS SHALL BE MARKED "AS SUITABLE FOR DAMP LOCATIONS" PER CEC 410.10.
23. WP EXTERIOR RECEPTACLES SHALL HAVE HUBBEL #ML500 EXTRA DUTY COVERS OR EQUAL. ALL RECEPTACLES IN DAMP OR WET (WP) SHALL BE LISTED WEATHER-RESISTANT TYPE AND BE GFCI. [CEC 406.9].
24. MANUFACTURER'S LITERATURE SHOWING PROPOSED LED LIGHT FIXTURES ARE HIGH EFFICACY AND CALIFORNIA CERTIFIED IS TO BE ON SITE AT THE TIME OF FIELD INSPECTION. CALIFORNIA ENERGY CODE 150.
25. AT LEAST ONE FIXTURE INSTALLED IN GARAGES, CLOSETS, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR PER CALIFORNIA ENERGY CODE 150(K)2.
26. AT LEAST ONE LIGHT FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR PER CALIFORNIA CODE 150(K)2.
27. TWO MINIMUM 1" DIAMETER METALLIC CONDUITS SHALL BE PROVIDED THAT ORIGINATE AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO A SOLAR ZONE AREA COMPLYING WITH CALIFORNIA ENERGY CODE, SECTION 110.10 AND TERMINATE AT A MINIMUM 4" FROM THE ELECTRICAL PANEL. THE ELECTRICAL PANEL JUNCTION BOX AND SEGMENT OF CONDUIT RUN IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
28. RECESSED LUMINARIES INSTALLED IN INSULATED CEILINGS SHALL HAVE AN I.C. RATING AND SHALL BE CERTIFIED AS AIR TIGHT.
29. LUMINARIES WITH SCREW BASE SOCKETS SHALL NOT BE RECESSED IN A CEILING.
30. LUMINARIES WITH SCREW BASE SOCKETS SHALL BE MARKED AS JA8-2019-E COMPLIANT AND SHALL ONLY CONTAIN JA8 COMPLIANT LAMPS.
31. ALL JA8 COMPLIANCE LUMINARIES SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS.
32. WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED OR EXTENDED IN AREAS SPECIFIED IN CEC 210.12(A), THE BRANCH CIRCUIT SHALL BE PROTECTED BY EITHER A LISTED COMBINATION-TYPE AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT OR A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTACLE OF THE EXISTING BRANCH CIRCUIT. PLEASE NOTE THIS ON PLANS. [CEC 210.8].
33. ALL KITCHEN COUNTERTOP RECEPTACLES ARE TO BE GFCI PROTECTED. RECEPTACLES WITHIN 6 FEET FROM THE TOP INSIDE EDGE OF THE BOWL OF THE SINK, RECEPTACLES WITHIN 6 FEET OF THE OUTSIDE EDGE OF ANY BATHTUB OR SHOWER STALL, AND RECEPTACLES IN LAUNDRY AREAS ARE TO BE GFCI PROTECTED. [CEC 210.8].

SYMBOLS

- CONDUIT EXISTING
- CONDUIT CONCEALED IN WALL OR CEILING
- CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE
- CONDUIT STUBBED OUT AND CAPPED
- CONDUIT TURNED UP
- CONDUIT TURNED DOWN
- HATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C., (8) MAX. IN 1"C., NO MARKS = 2#12
- A-3 — HOME RUN: LETTER INDICATES PANEL, NUMBER(S) INDICATES CIRCUIT(S).
- SAWCUT
- GROUND CONNECTION
- DISTRIBUTION SWITCHBOARD OR PANEL
- PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH
- SIGNAL TERMINAL CABINET, SURFACE & FLUSH
- LINEAR SURFACE FIXTURE
- OUTLET DATA: BAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT.
- SURFACE FIXTURE ON FLUSH OUTLET.
- RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING
- EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT.
- LOW LEVEL EXIT SIGN, +6" AFF, +4" FROM DOOR JAMB
- A 100 — LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.
- FC 1 — MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.
- SPECIAL RECEPTACLE - SEE PLAN
- METER
- FLUSH FLOOR RECEPTACLE
- RECEPTACLE, DUPLEX, 15A, 125V, NEMA 5-15R +18" U.N.O.
- DUPLEX RECEPTACLE MTD. ABOVE BACKSPLASH
- DUPLEX RECEPTACLE W/LOWER HALF SWITCHED
- GFI — GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE
- CEILING RECEPTACLE
- RECEPTACLE, DUPLEX, 20A, 125V, NEMA 5-20R +18" U.N.O.
- JUNCTION BOX 4" SQUARE, 1-1/2" DEEP U.N.O.
- THERMOSTAT F.B.O. +48"
- MOTOR, NO. INDICATES HORSEPOWER
- CLOCK OUTLET +7'-6" U.N.O.
- DISCONNECT SWITCH, NON-FUSED
- DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS NOTED
- COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSES
- MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE
- DIMMER W/INTEGRAL "ON-OFF" SW.
- PUSHBUTTON
- PHOTOCELL
- SMOKE DETECTOR
- TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/1 GANG COVERPLATE & GROMMETED OPENING +18" U.N.O.
- CABLE TV OUTLET +18" U.N.O.
- MOTION SENSOR
- EXISTING SWITCH
- S — SINGLE POLE SWITCH
- S^2 — DOUBLE POLE SWITCH
- S^3 — THREE WAY SWITCH
- S^P — SWITCH W/PILOT LT.
- (S, S^2, S^3, S^P:) QUIET TOGGLE TYPE RATED AT 20A, 120/277V A.C. +42" U.N.O.
- S^M — MANUAL MOTOR STARTER
- FACP — FIRE ALARM CONTROL PANEL
- GFI — GROUND FAULT CIRCUIT INTERRUPTING
- LST — LABOR SAVING TANDEM
- MLO — MAIN LUGS ONLY
- w/ — WITH
- C.O. — CONDUIT ONLY
- W.P. — WEATHERPROOF
- F.B.O. — FURNISHED BY OTHERS, INSTALL & CONNECT
- U.N.O. — UNLESS NOTED OTHERWISE
- N.E.C. — NATIONAL ELECTRICAL CODE
- N.I.C. — NOT IN CONTRACT
- (E) — EXISTING
- (N) — NEW
- (R) — REMOVE
- (RL) — RELOCATE
- S/M — SURFACE MOUNT
- U/G — UNDERGROUND
- CWP — COLD WATER PIPE
- AFF — ABOVE FINISHED FLOOR
- HACR — HEATING AND AIR CONDITIONING RATED CIRCUIT BREAKER
- N.L. — NIGHT LIGHT

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.

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REIMAGINING SCALABLE SOLUTIONS TO HOMELESSNESS

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Ojai Permanent Supportive Housing
611 South Montgomery Street, Ojai California

Drawn By: DJ
Checked By:
Job No. 2407
Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

25 July 2025

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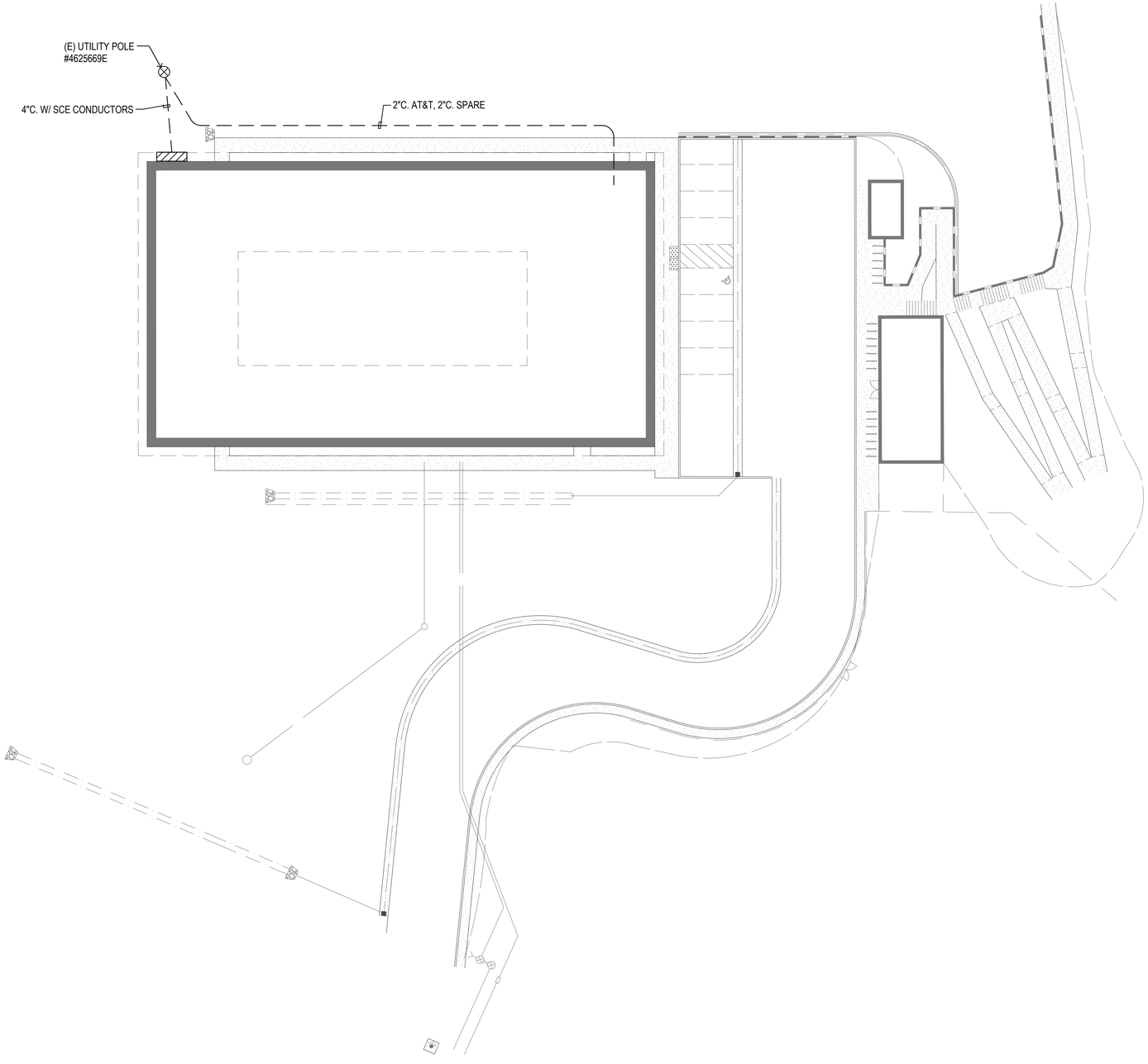
SYMBOLS, NOTES, SCHEDULES & SINGLE LINE DIAGRAM

E-1



ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

North

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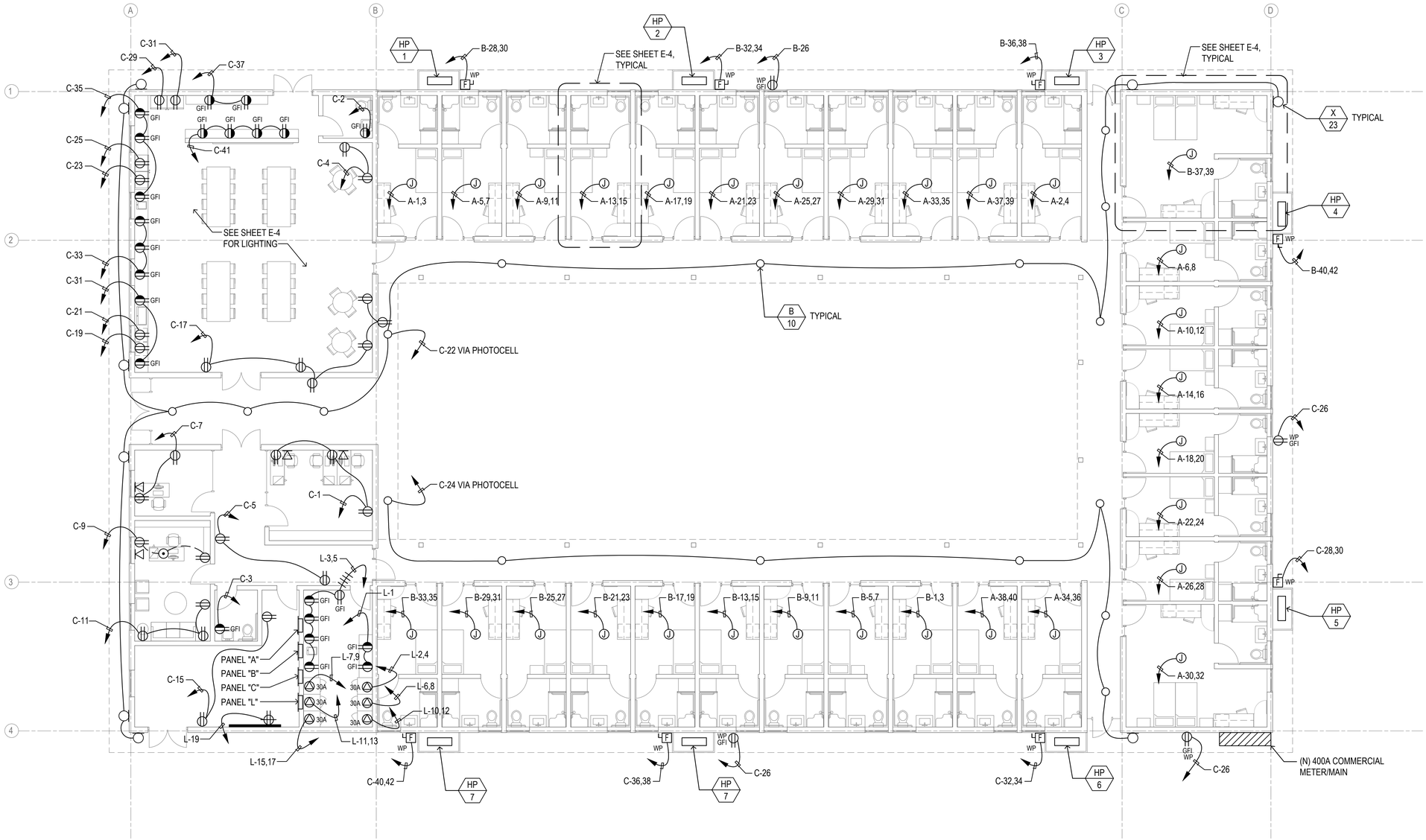
ELECTRICAL SITE PLAN

E-2



ELECTRICAL FLOOR PLAN

SCALE: 1/8"=1'-0"

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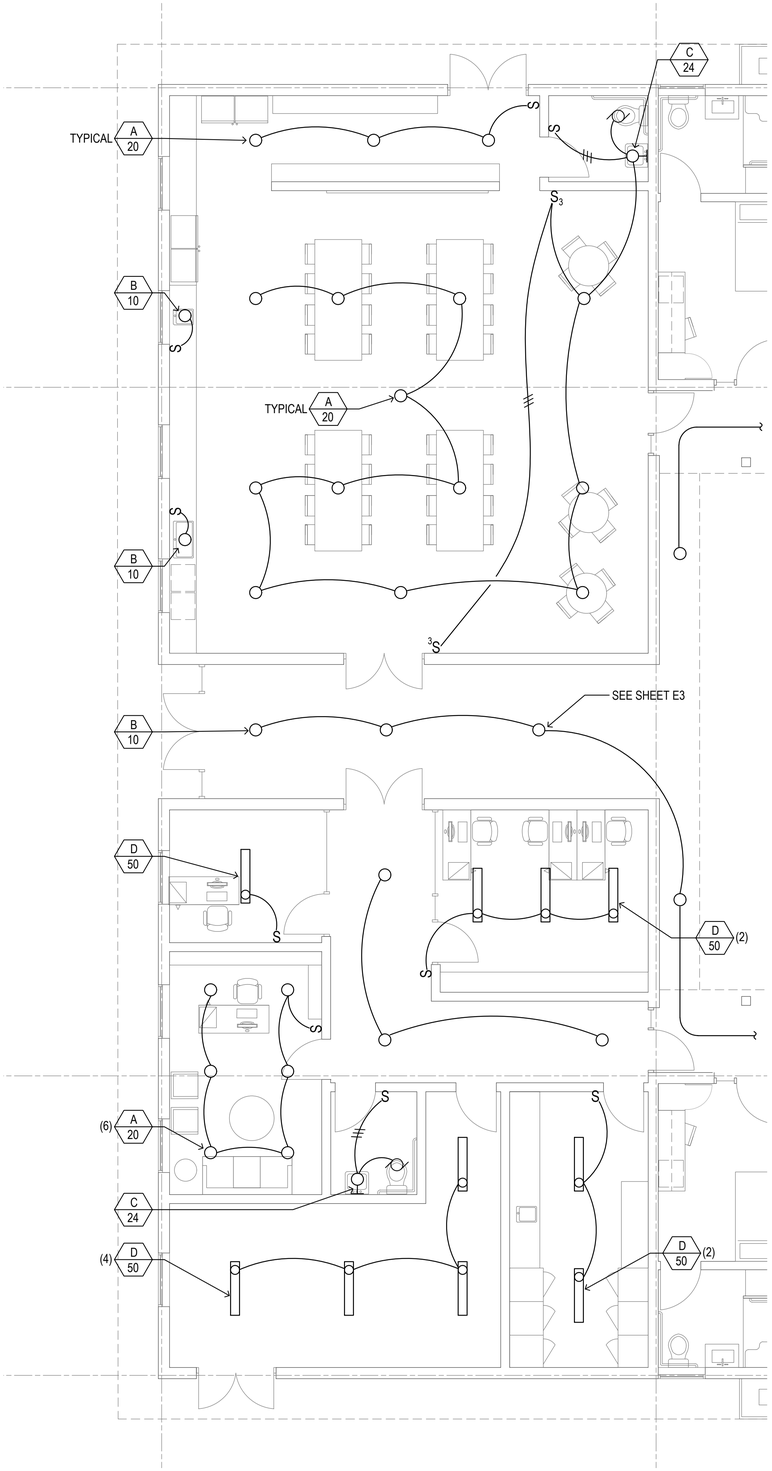
ELECTRICAL FLOOR PLAN

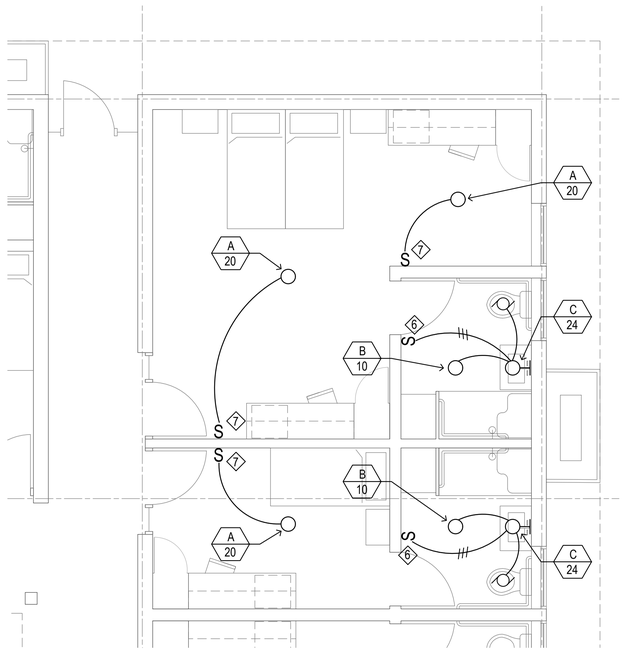
E-3



LIGHTING PLAN

SCALE: 3/16"=1'-0"

North



TYPICAL UNIT LIGHTING PLAN

SCALE: 1/4"=1'-0"

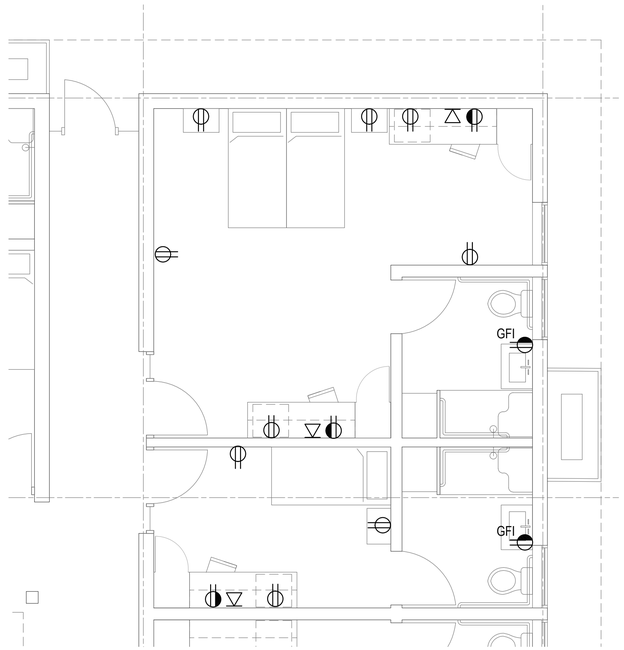
North

LIGHTING NOTES

1. ALL INSTALLED LIGHTING TO BE HIGH EFFICACY PER REQUIREMENTS OF 2022 CEC SECTION 150.0(k) AND JOINT APPENDIX JA8.
2. BUILDER SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF ALL INSTALLED LAMPS AND LUMINAIRES.
3. ANY JA8 COMPLIANT LAMP MUST BE CONTROLLED BY A VACANCY SENSOR OR DIMMER BASED ON TYPE OF LUMINAIRE OR LAMP INSTALLED.
4. RECESSED FIXTURES SHALL BE IC RATED AND ASTM E283 CERTIFIED. RECESSED FIXTURES SHALL NOT CONTAIN A SCREW BASE SOCKET AND MUST BE INSTALLED WITH A LIGHT SOURCE THAT IS JA8 CERTIFIED, SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED FIXTURES" OR "NOT FOR USE IN RECESSED FIXTURES."
5. IN BATHROOMS, LAUNDRY ROOMS, GARAGES, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.

6 SENSOR SWITCH #WSX-PDT-2P-FAN-WH

7 DIMMER



TYPICAL UNIT POWER PLAN

SCALE: 1/4"=1'-0"

North

REFER TO A6.1 AND A6.2 REFLECTED CEILING PLANS FOR LIGHTING AND FAN LAYOUTS. PROVIDE PRICING BASED ON ARCHITECTURAL PLANS.

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ELECTRICAL FLOOR PLANS

E-4